





**FLOOD ZONE INFORMATION**

BY GRAPHIC PLOTTING ONLY, SUBJECT PARCEL IS LOCATED IN ZONES AE & X OF THE FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 33013C287E WHICH BEARS AN EFFECTIVE DATE OF APRIL 19, 2010. NO FIELD ELEVATION SURVEYING WAS PERFORMED TO DETERMINE THIS ZONE AND AN ELEVATION CERTIFICATE MAY BE NEEDED TO VERIFY THIS DETERMINATION.

**SURVEY NOTES**

1. THE LOCUS IS SHOWN ON TOWN OF WARNER ASSESSOR'S MAP 35 LOTS 4-1, 4-2, AND 4-3, LOCATED IN ZONING DISTRICT C1 COMMERCIAL AND IS KNOWN AS 9 ROUTE 103 WEST.
2. DEED REFERENCE: BOOK 3579 PAGE 98, MERRIMACK COUNTY REGISTRY OF DEEDS.
3. THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE.
4. THE BASIS OF BEARING FOR THIS PLAN IS THE NEW HAMPSHIRE STATE PLANE COORDINATES
5. WETLAND DELINEATION PERFORMED BY JOHN P. HAYES III C.W.S.

**REFERENCE DEEDS:**

1. BOOK 3579 PAGE 98 MERRIMACK COUNTY REGISTRY OF DEEDS

**REFERENCE PLANS:**

1. PLAN 16243
2. PLAN 11670
3. PLAN 7757
4. PLAN 307
5. STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS PLANS OF PROPOSED FEDERAL AID PROJECT I-89-(57)19 N.H. PROJECT NO. P-7407-C INTERSTATE ROUTE I-89 SHEETS 76, 77, 80, & 81 ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION

**EASEMENTS AND ENCUMBRANCES:**

- EXISTING CONSERVATION EASEMENT  
BOOK 3579 PAGE 98  
PLAN 16243
- EXISTING DRIVEWAY EASEMENT  
BOOK 3579 PAGE 98  
PLAN 16243
- EXISTING INGRESS/EGRESS EASEMENT  
BOOK 3579 PAGE 98  
PLAN 16243

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EXISTING CONDITIONS PLAN**  
CS0201

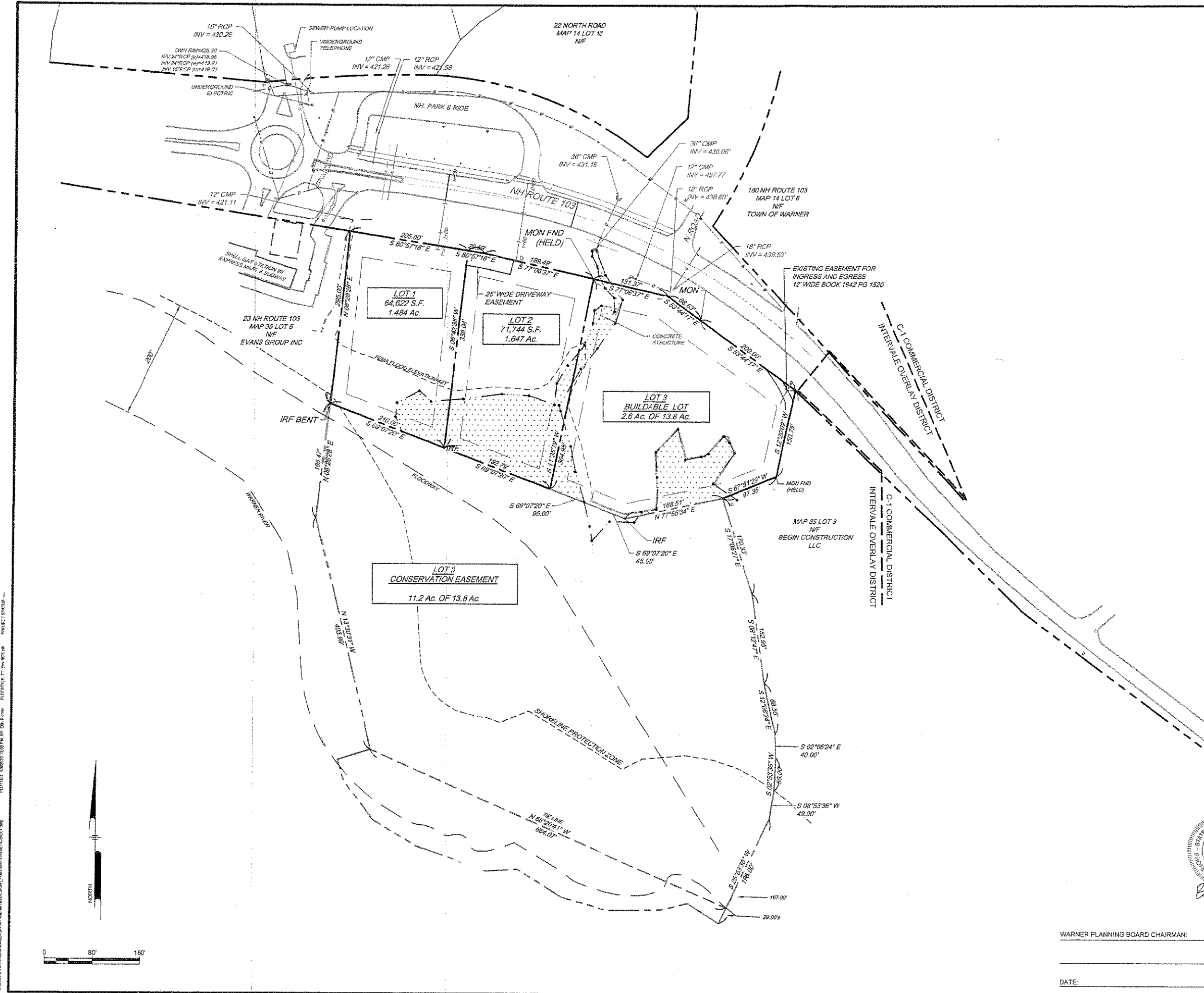
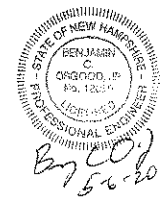
**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
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WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_

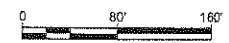
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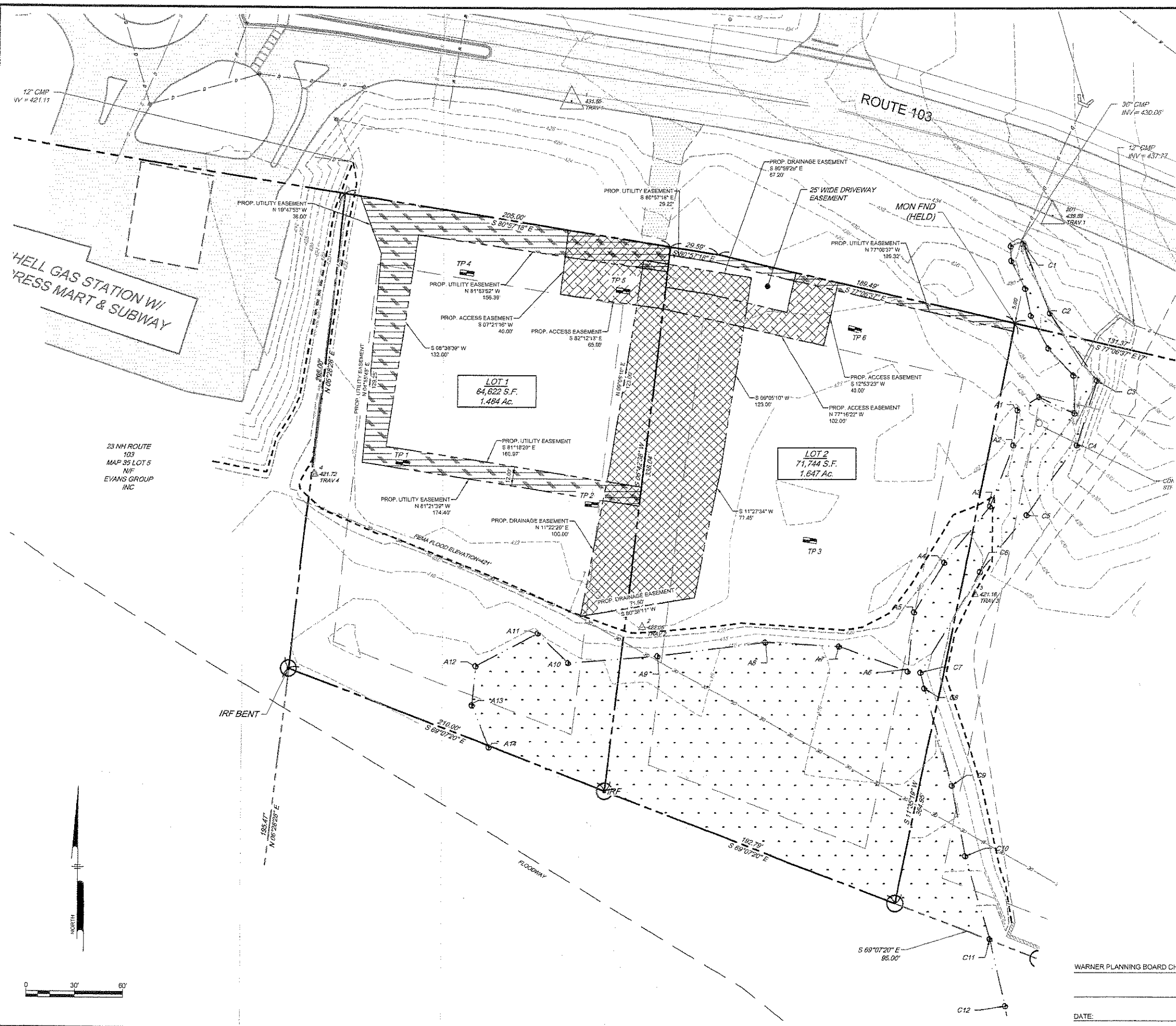
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SHEET 3 OF 16






PLOTTED: 5/20/2020 10:08 AM BY: C. K. KILMER  
 PLOTTING: 5/20/2020 10:08 AM BY: C. K. KILMER  
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**PROPOSED EASEMENTS**

-  ACCESS EASEMENT  
4735 SF
-  UTILITY EASEMENT  
6200 SF
-  DRAINAGE EASEMENT  
14225 SF

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
**ROUTE 103 WEST, WARNER NH,**  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

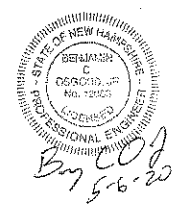
**EXISTING CONDITIONS PLAN - SITE VIEW**  
**CS0202**

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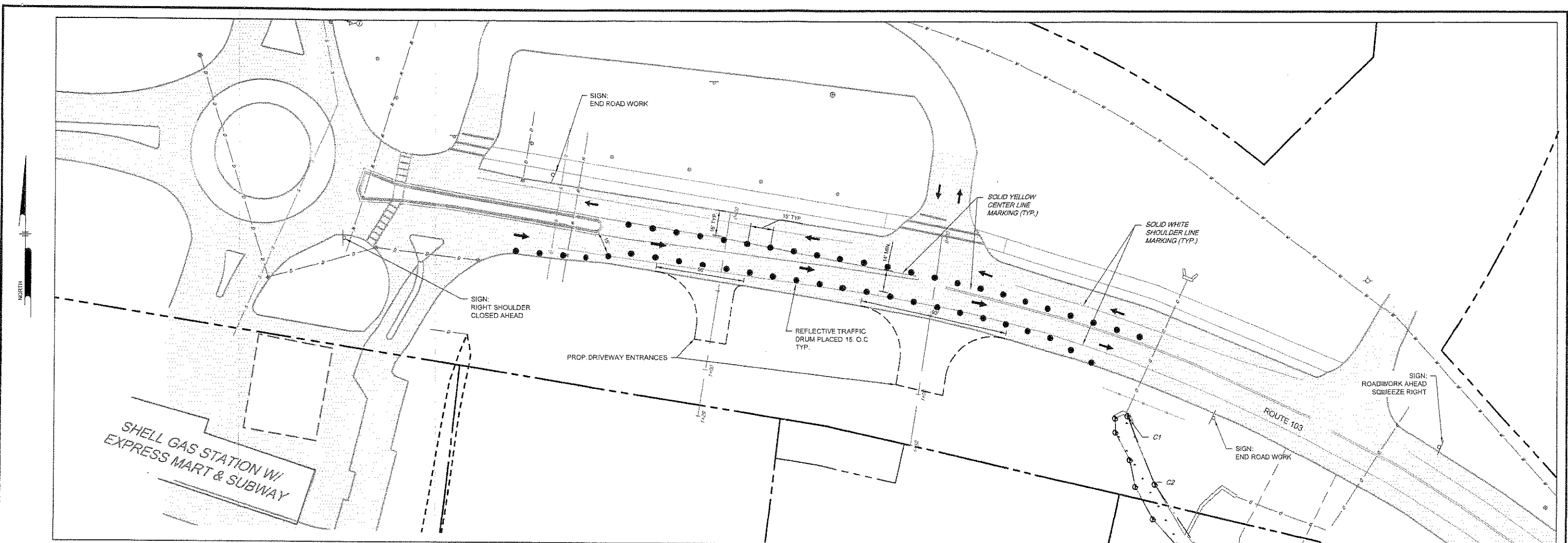
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DATE: \_\_\_\_\_

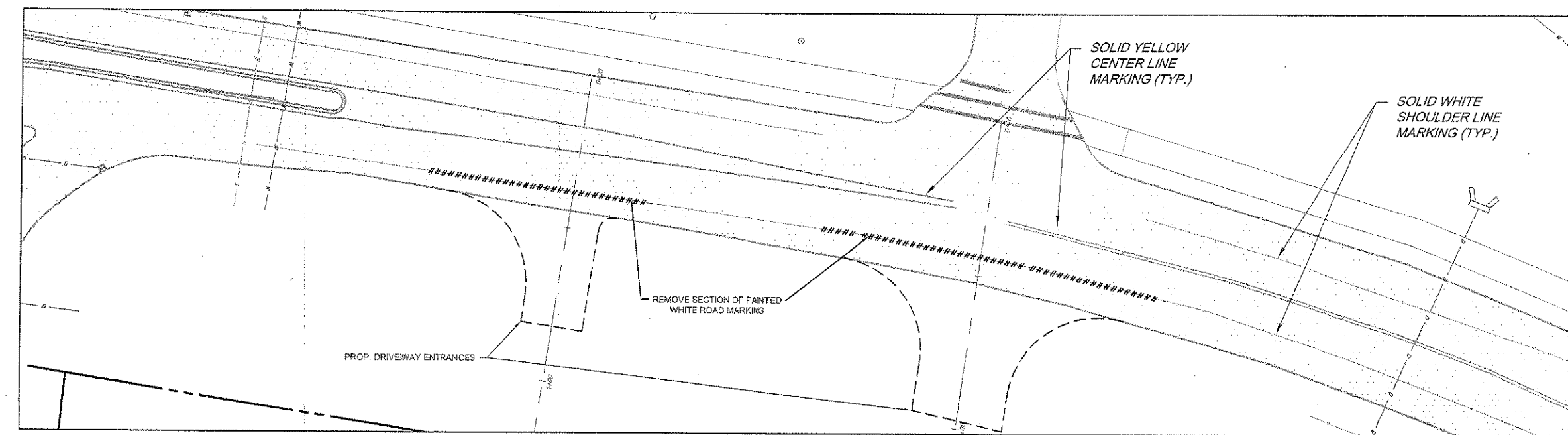
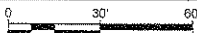
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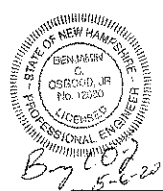
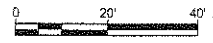
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TRAFFIC MANAGEMENT PLAN DURING DRIVEWAY ENTRANCE CONSTRUCTION



PAVEMENT MARKING PLAN VIEW



DATE	REV.	REVISIONS	BY

**SITE PLAN**  
 ROUTE 103 WEST, WARNER NH,  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01897

**TRAFFIC CONTROL & DEMO PLAN**  
 CS0501

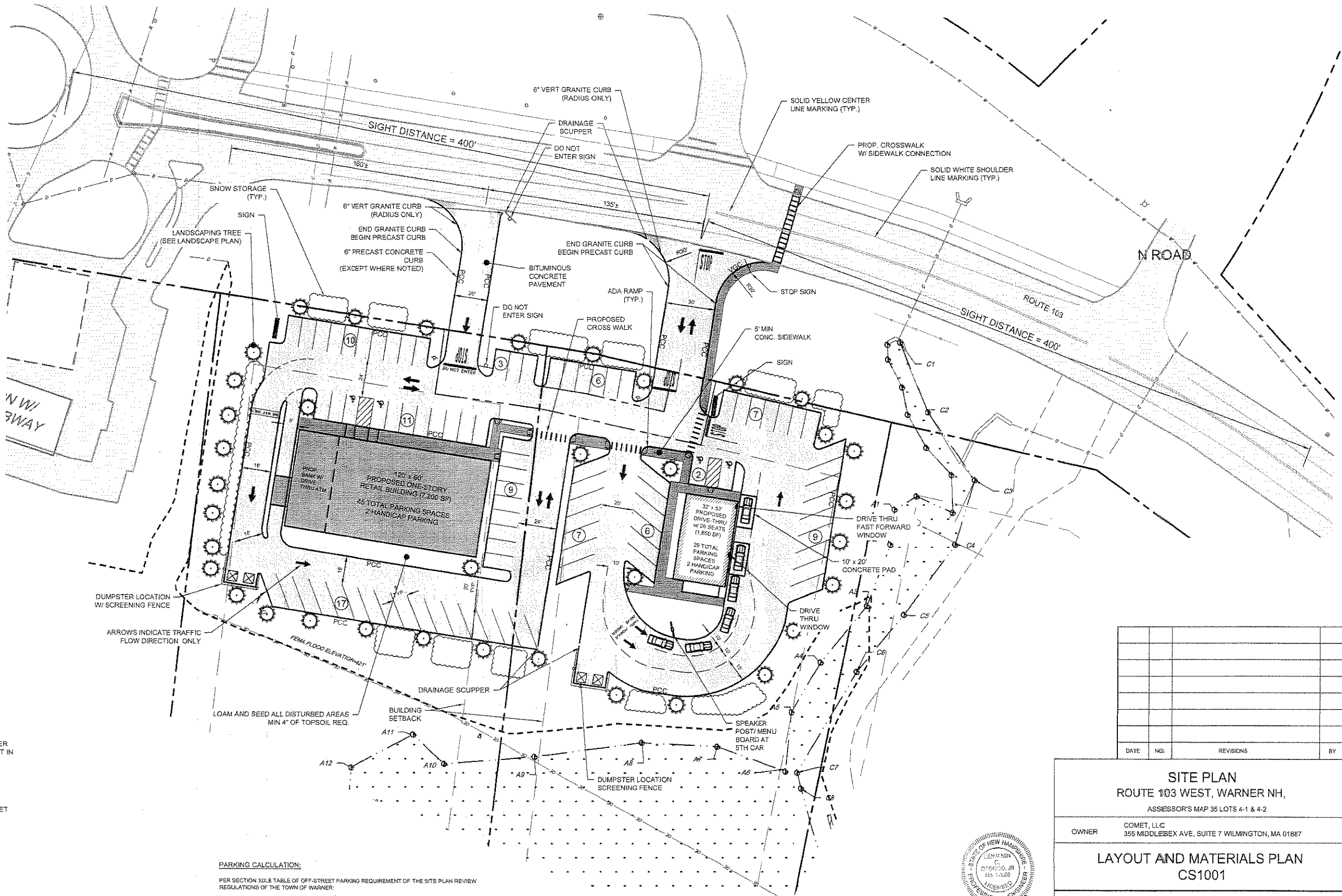
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 Methuen, MA 01844  
 Tel: 978-208-1762  
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WARNER PLANNING BOARD CHAIRMAN:

DATE: \_\_\_\_\_

C:\Users\chris\OneDrive\Documents\18-101 - Route 103 West\CS0501\_PUB\18-101 - Route 103 West - Project Status - Plotfile.dwg  
 PLOTTED: 3/26/20 2:07 PM BY: chris.ranger  
 PROJECT STATUS: ...





- SIGN NOTES:**
1. EACH PREMISE / LOT MAY HAVE 1 FREE STANDING SIGN, NO TALLER THAN 15 FEET IN HEIGHT, AND BE NO MORE THAN 24 SQUARE FEET IN AREA.
  2. SIGNS SHALL HAVE A MAX COMBINED TOTAL AREA OF NOT MORE THAN 84 SQUARE FEET IN SURFACE AND/OR IMAGE AREA PER PREMISE / LOT.
  3. FREE STANDING SIGNS SHALL BE SETBACK NOT LESS THAN 10 FEET FROM ANY PROPERTY LINES.

**ZONING REQUIREMENTS: C1-COMMERCIAL DISTRICT INTERVALE OVERLAY DISTRICT**

	REQUIRED	PROVIDED	LOT 1	LOT 2
MIN. LOT AREA	40,000 SF	65,872 SF	71,965 SF	
MIN. LOT FRONT	200'	205'	219'	
FRONT SETBACK	40'	40'	40'	
SIDE SETBACK	25'	25'	25'	
MAX IMPERVIOUS AREA	70%	46%	54%	

**PARKING CALCULATION:**  
 PER SECTION XXII.B TABLE OF OFF-STREET PARKING REQUIREMENT OF THE SITE PLAN REVIEW REGULATIONS OF THE TOWN OF WARNER:

**PARKING REQUIRED (RETAIL USE):** LOT 1  
 1 SPACE PER 100 SF = 48 REQUIRED SPACES FOR 17,200 SF OF GROSS FLOOR AREA  
 TOTAL REQUIRED = 48 SPACES  
 TOTAL PROVIDED = 50 SPACES


**PARKING REQUIRED (DRIVE THROUGH WITH TAKE OUT OR EAT IN USE):** LOT 2  
 1 SPACE PER 3 SEATS = 8 REQUIRED SPACES FOR 24 SEATS  
 1 SPACE PER 50 SF = 34 REQUIRED SPACES FOR 1700 SF OF GROSS FLOOR AREA  
 1 SPACE PER EMPLOYEE = 6 REQUIRED  
 TOTAL REQUIRED = 48 SPACES  
 TOTAL PROVIDED = 37 SPACES

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
 ROUTE 103 WEST, WARNER NH,  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE. SUITE 7 WILMINGTON, MA 01887

**LAYOUT AND MATERIALS PLAN**  
 CS1001

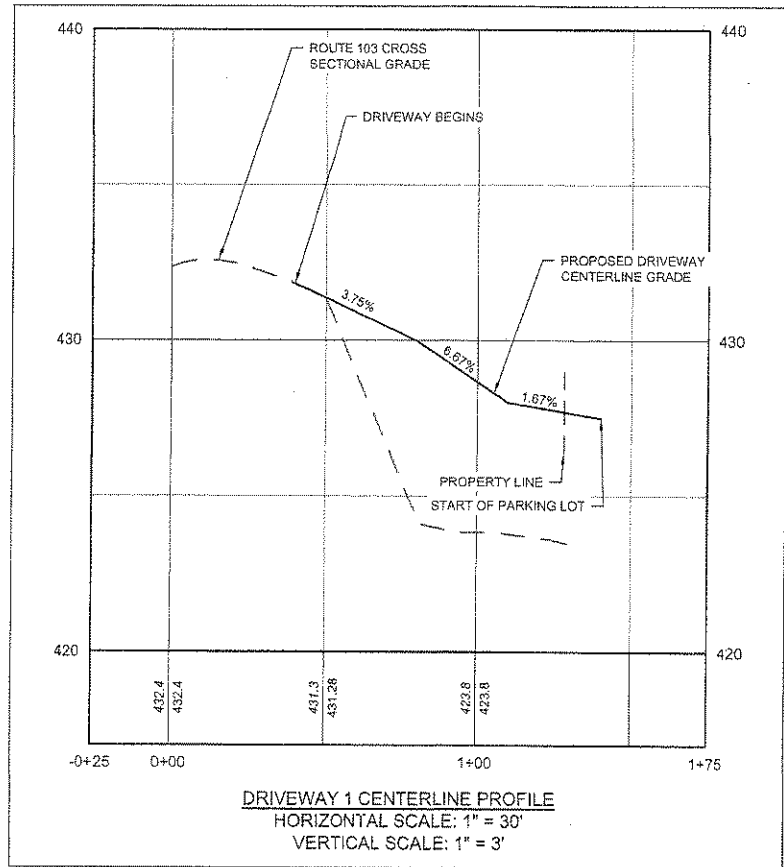
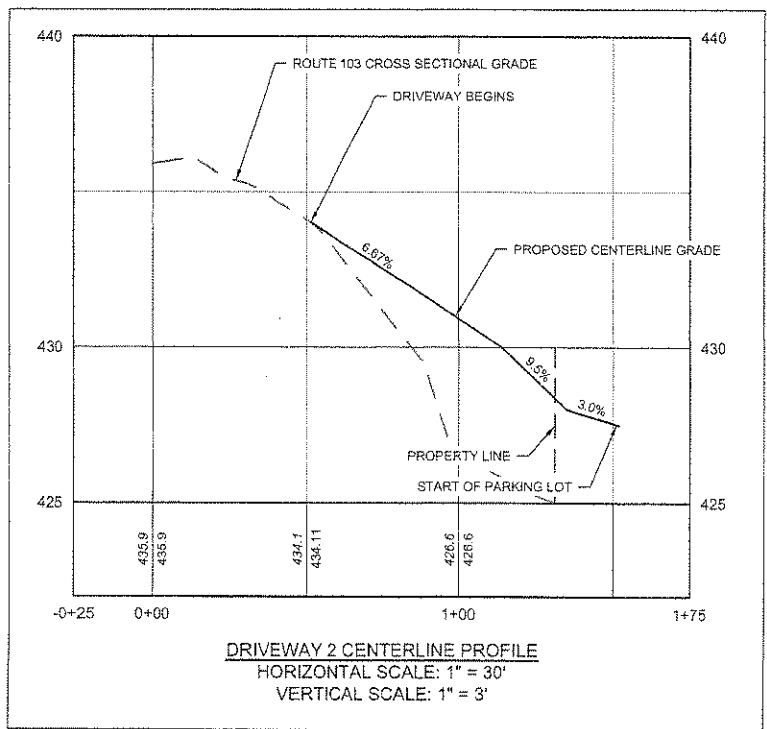
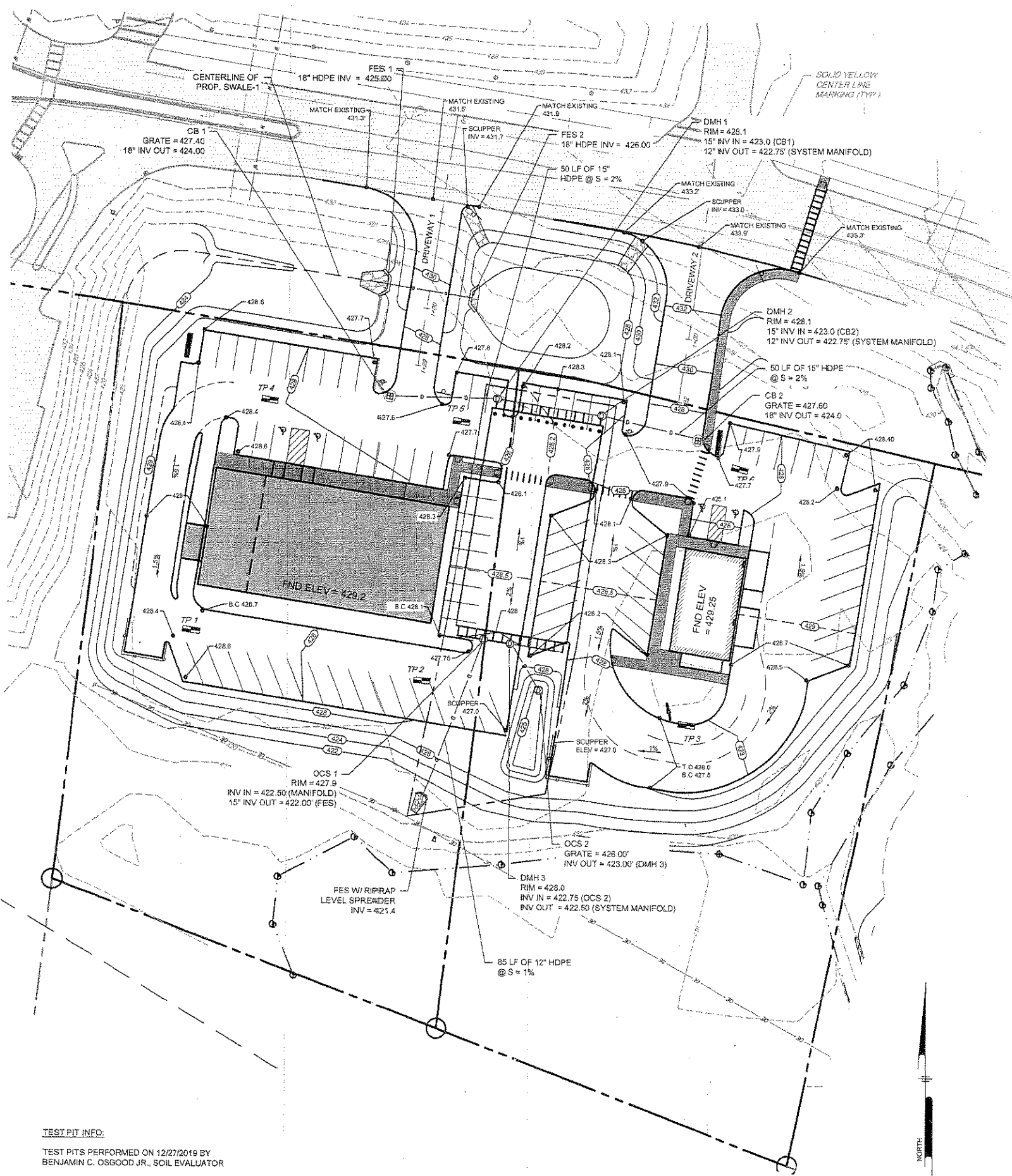

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 Tel: 978-208-1762  
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DATE: \_\_\_\_\_

DATE: 2020-05-06      SCALE:      SHEET 6 OF 16

PLOTTED: 20200524 08:51 PM BY: CDS/BMW      PROJECT STATUS:      C:\Users\CDS\Documents\Projects\19-014 - Warner NH\03501 - PUBL\SP\PLANSET\CS1001.dwg



TOP ELEV 422.25' ESHGW 414.75'

TP1				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-53"	FILL 1			
53-90"	FILL 2			
90-102"	B	S.L	10YR 4/6	
102-108"	C	FS	7.5YR 3/3	

WEPPING @ 90'

TOP ELEV 422.4' ESHGW 416.4'

TP2				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-42"	FILL 1			
42-72"	FILL 2			
72-90"	B	L.S	10YR 4/6	
90-96"	C	G.S	7.5YR 3/3	
			10YR 5/6	REDOX @ 72"

TOP ELEV 421.8' ESHGW 414.3'

TP3				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-36"	FILL 1			
36-90"	FILL 2			
90-96"	B	L.S	10YR 4/6	
96-112"	C	G.S	7.6YR 3/3	
			10YR 5/6	REDOX @ 90"

TOP ELEV 422.75' ESHGW 415.9'

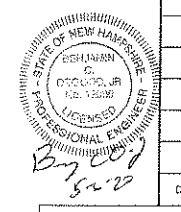
TP4				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-75"	FILL			
75-108"	B	L.S	10YR 4/6	
108-130"	C	G.S	7.5YR 3/3	
				ESHGW @ 82"

TOP ELEV 422.8' ESHGW 416.55'

TP5				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-75"	FILL			
75-96"	C	G.S	7.5YR 3/3	
				ESHGW @ 75"

TOP ELEV 423.25' ESHGW N/A

TP6				
DEPTH	HORIZON	TEXTURE	COLOR	MOTTLING
0-60"	FILL			
60-120"	FILL 2			
120-123"	C	G.S	7.5YR 3/3	



DATE	NO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**GRADING AND DRAINAGE PLAN**  
CS1501

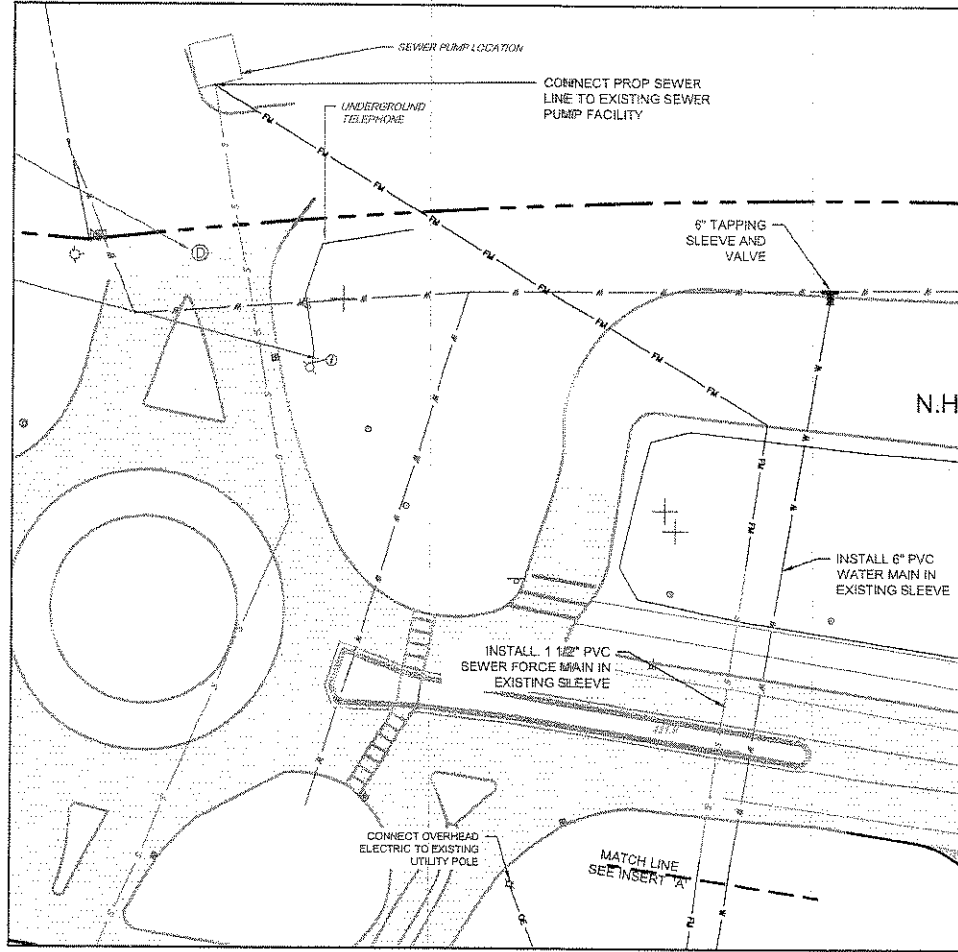
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WARNER PLANNING BOARD CHAIRMAN:

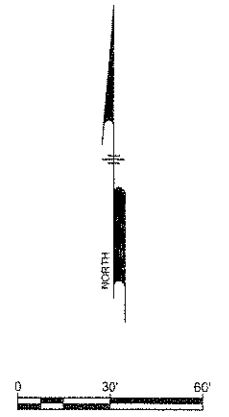
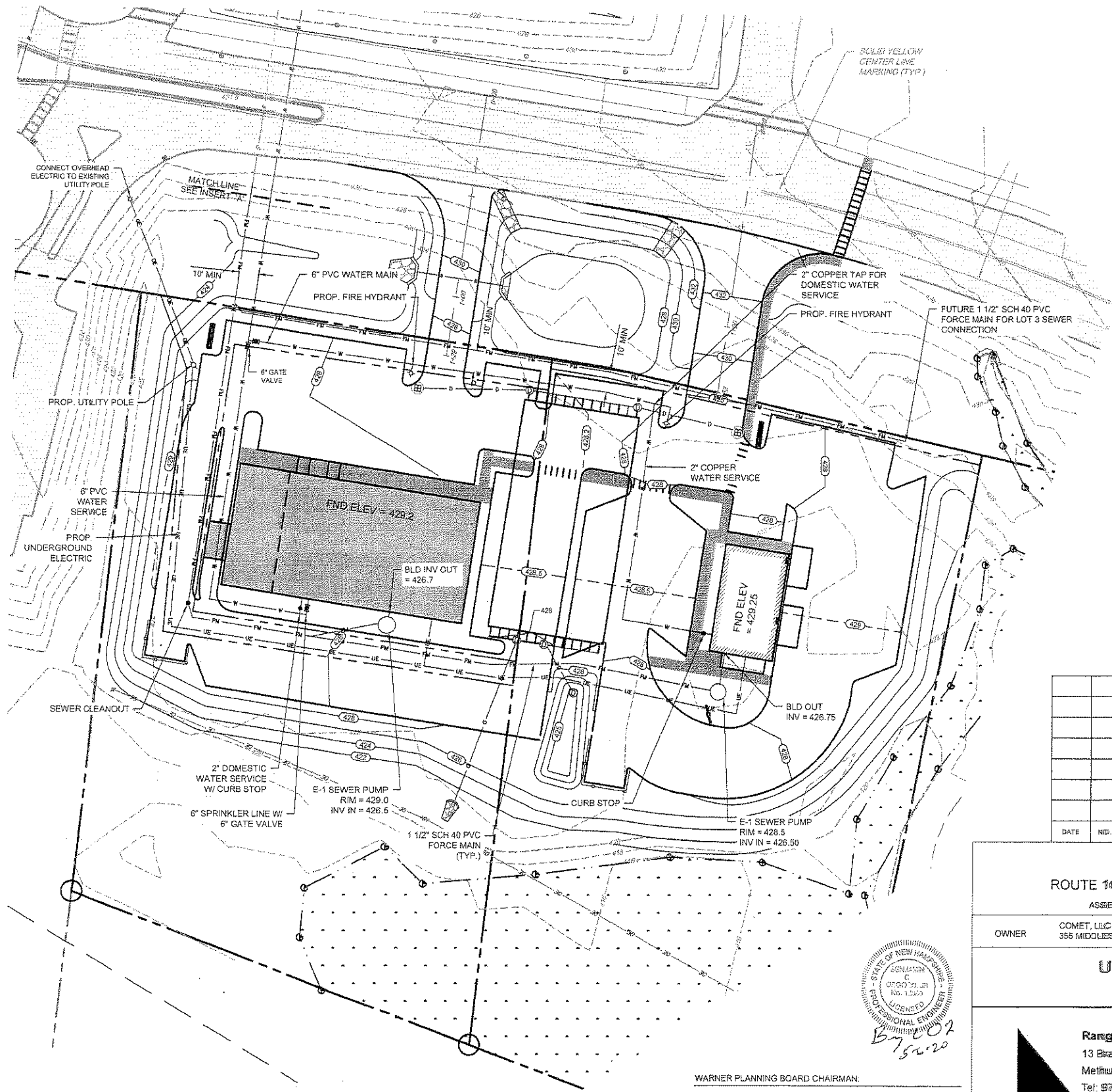
DATE:

PROJECT STATUS: PLANNING / DESIGN / PERMITS / CONSTRUCTION / MAINTENANCE / AS-BUILT / COMPLETED

**TEST PIT INFO:**  
TEST PITS PERFORMED ON 12/27/2019 BY  
BENJAMIN C. OSGOOD JR., SOIL EVALUATOR



INSERT 'A': SEWER AND WATER TIE IN



DATE	NO.	REVISIONS	BY

**SITE PLAN**  
 ROUTE 103 WEST, WARNER NH,  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

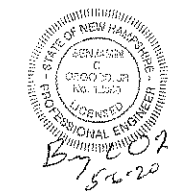
OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01867

**UTILITY PLAN**  
 CS1701

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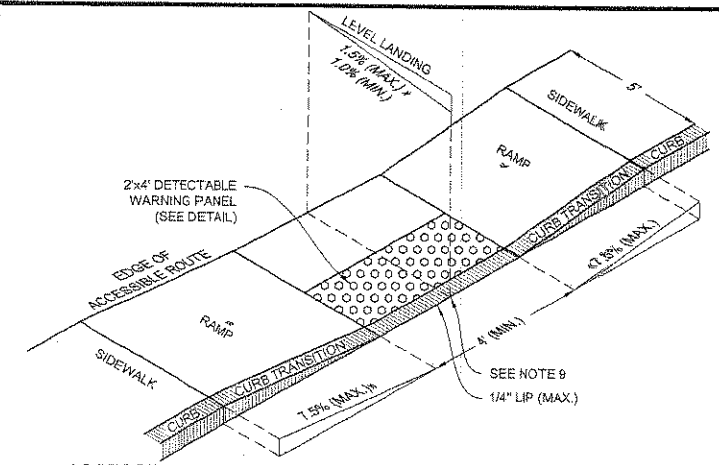
WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_

DATE: 2020-05-06      SCALE:      SHEET 8 OF 16

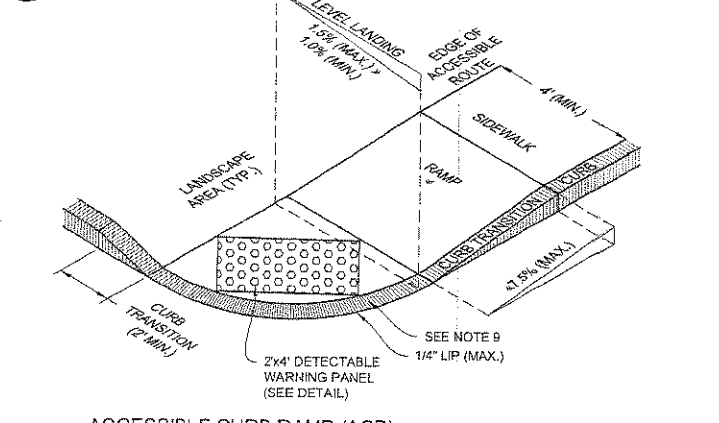


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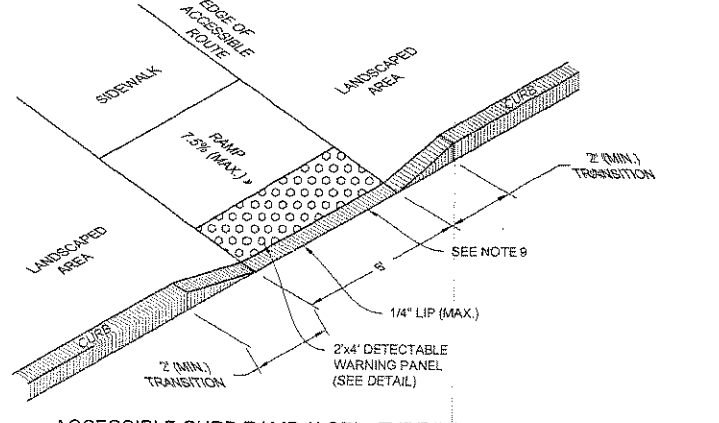




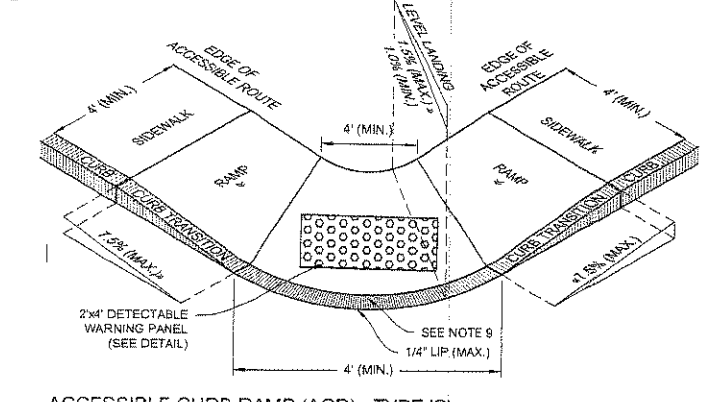
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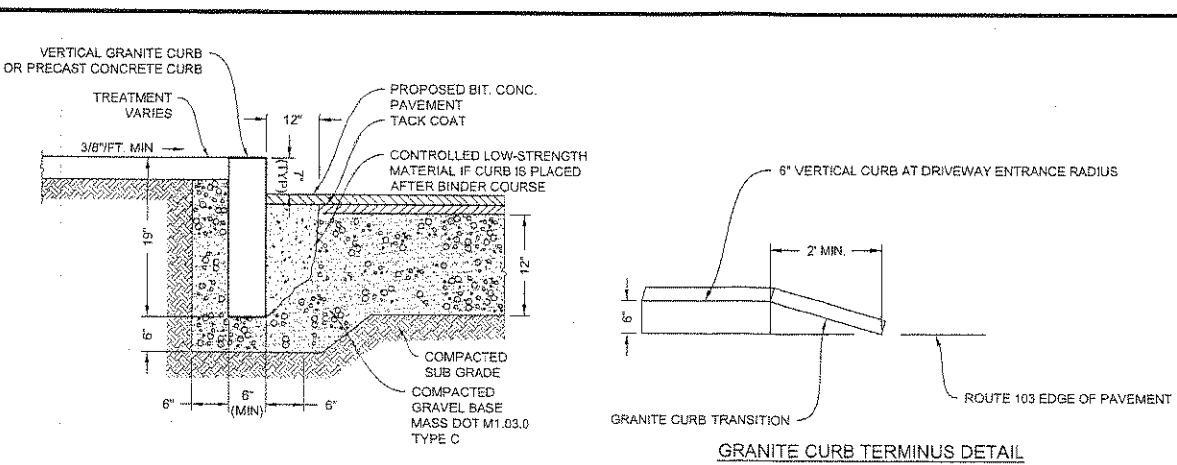
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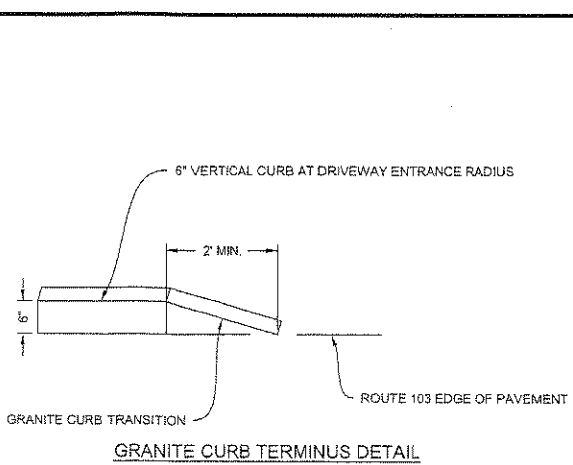
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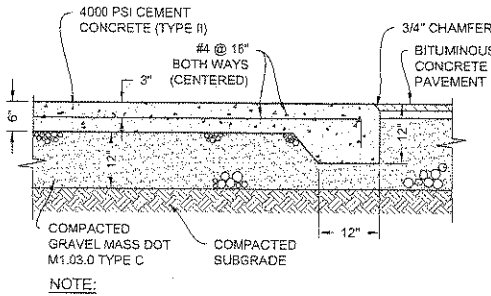
2 VERTICAL GRANITE CURB OR PRECAST CONCRETE CURB & CAPECOD BERM  
NOT TO SCALE

ACCESSIBLE CURB RAMP NOTES:

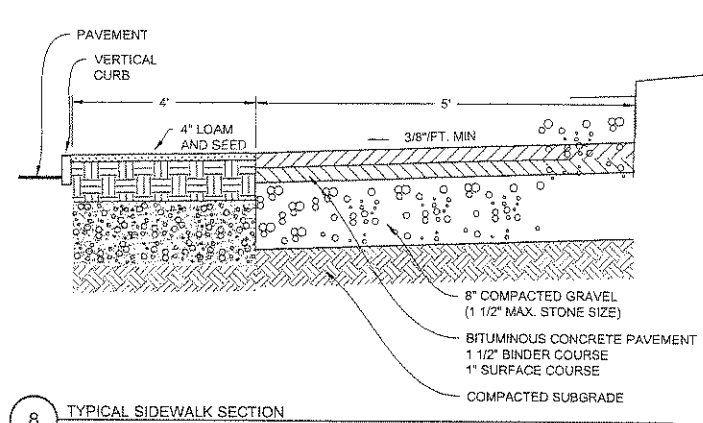
1. THE MAXIMUM ALLOWABLE SIDEWALK AND RAMP CROSS SLOPES SHALL BE 1.5% (1% MIN).
2. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE EXCLUDING CURB RAMPS SHALL BE 5%.
3. THE MAXIMUM ALLOWABLE SLOPE OF ACCESSIBLE ROUTE CURB RAMPS SHALL BE 7.5%.
4. A MINIMUM OF 3 FEET CLEAR SHALL BE MAINTAINED AT ANY PERMANENT OBSTACLE IN ACCESSIBLE ROUTE (I.E., HYDRANTS, UTILITY POLES, TREE WELLS, SIGNS, ETC.)
5. CURB TREATMENT VARIES, SEE PLAN FOR CURB TYPE.
6. RAMP, CURB AND ADJACENT PAVEMENTS SHALL BE GRADED TO PREVENT PONDING.
7. SEE TYPICAL SIDEWALK SECTION FOR RAMP CONSTRUCTION.
8. WHERE ACCESSIBLE ROUTES ARE LESS THAN 5' IN WIDTH (EXCLUDING CURBING) A 5x5' PASSING AREA SHALL BE PROVIDED AT INTERVALS NOT TO EXCEED 200 FEET.
9. ELIMINATE CURBING AT RAMP WHERE IT ABUTS ROADWAY, EXCEPT WHERE VERTICAL CURBING IS INDICATED ON THE DRAWINGS TO BE INSTALLED AND SET FLUSH.



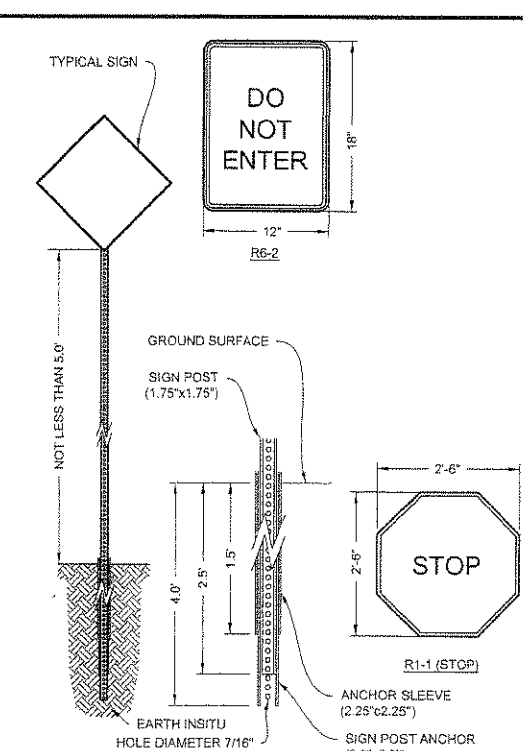
3 BIT. CONC. PAVE. SECTION - PARKING LOT  
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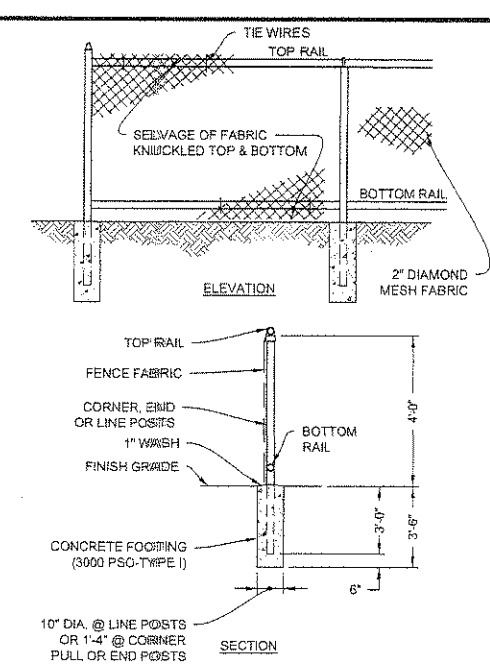
7 TYPICAL CONCRETE PAD SECTION  
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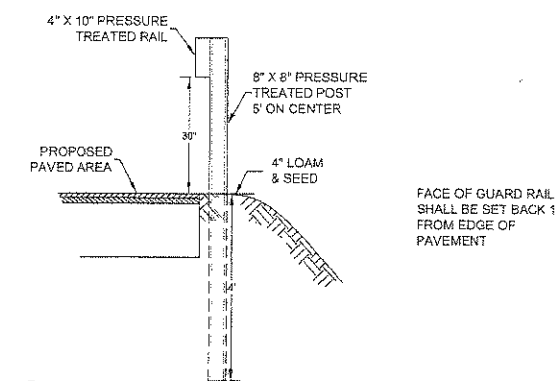
8 TYPICAL SIDEWALK SECTION  
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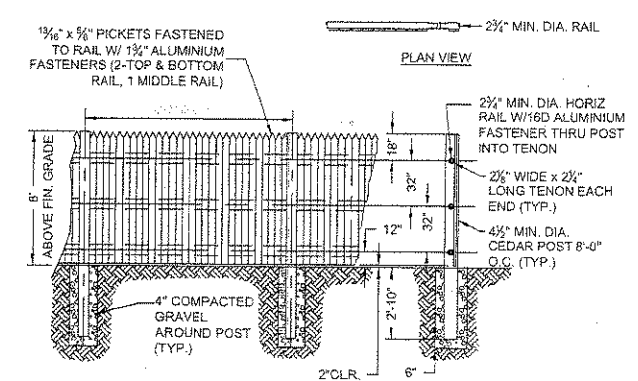
4 SIGN POST DETAIL  
NOT TO SCALE



5 CHAIN LINK FENCE UP TO 6'  
NOT TO SCALE



9 WOOD BEAM GUARDRAIL WITH WOOD POST  
NOT TO SCALE



12 8' STOCKADE FENCE  
NOT TO SCALE

- NOTES:
1. ALL FENCING MATERIAL SHALL BE NORTHERN WHITE CEDAR, SHOWN TO THE DIMENSIONS SHOWN ON THE DRAWING.
  2. ALL FENCE POSTS SHALL BE TREATED WITH PRESERVATIVE PER MANUFACTURER'S RECOMMENDATION ON ALL SIDES FOR A DIMENSION OF 3'-0" FROM BUTT OF POST.
  3. POSTS SHALL MAINTAIN A DEPTH OF 2'-10" IN GROUND AND SHALL NOT BE RACKED TO ACCOMMODATE CHANGES IN GRADE.
  4. LINE OF FENCE TOP AND BOTTOM SHALL BE INSTALLED STRAIGHT AND TRUE. POSTS AND PICKETS SHALL BE INSTALLED PARALLEL AND PLUMB. RAILS SHALL BE INSTALLED PARALLEL TO GROUND SURFACE AND EACH OTHER.
  5. GATE HARDWARE SHALL BE DOUBLE DIP HOT GALVANIZED. THE CONTRACTOR SHALL SUBMIT GATE AND FENCE SHOP DRAWINGS TO THE ENGINEER FOR REVIEW.

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

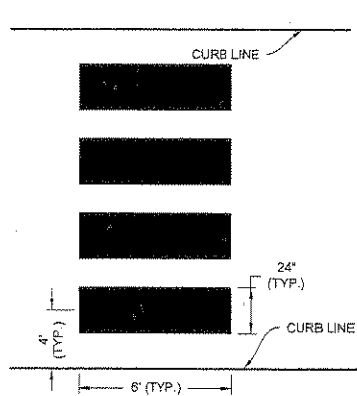
**SITE DETAILS**  
CS6001

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Tel: 978-208-1762  
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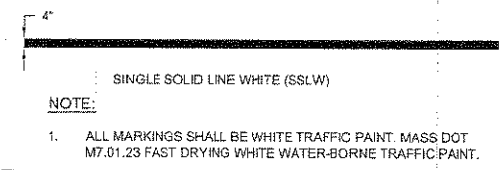
WARNER PLANNING BOARD CHAIRMAN:

DATE:

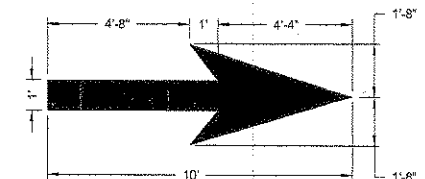


- NOTES:**
- TWELVE INCH (12") LINES SHALL BE APPLIED IN ONE APPLICATION, NO COMBINATION OF LINES (TWO - 6 INCH LINES) WILL BE ACCEPTED.
  - LONGITUDINAL CROSSWALK LINES TO BE PARALLEL TO CURB LINE.
  - ALL LONGITUDINAL CROSSWALK LINES TO BE THE SAME LENGTH AND PROPERLY ALIGNED.
  - CROSS WALK SIDE SLOPE SHALL NOT EXCEED 1.5%.

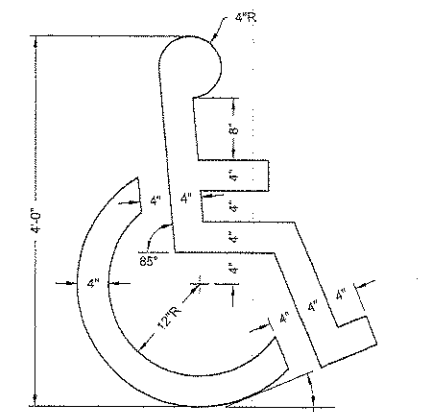
**1 CROSSWALK**  
NOT TO SCALE



**2 SINGLE WHITE LINE DETAIL**  
NOT TO SCALE

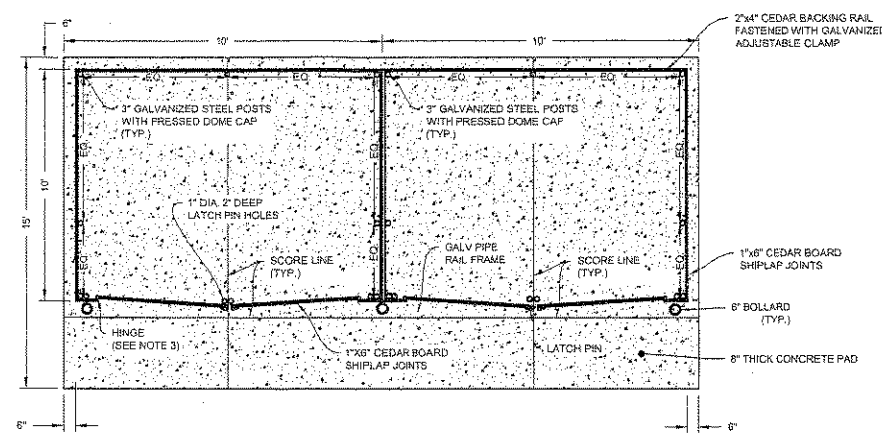


**3 STRAIGHT ARROW**  
NOT TO SCALE



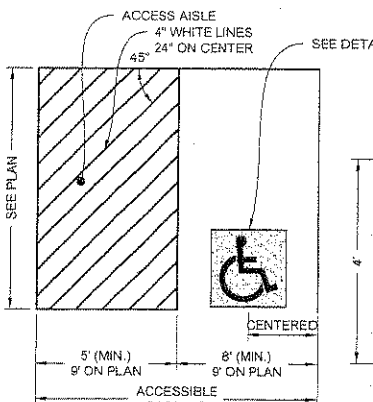
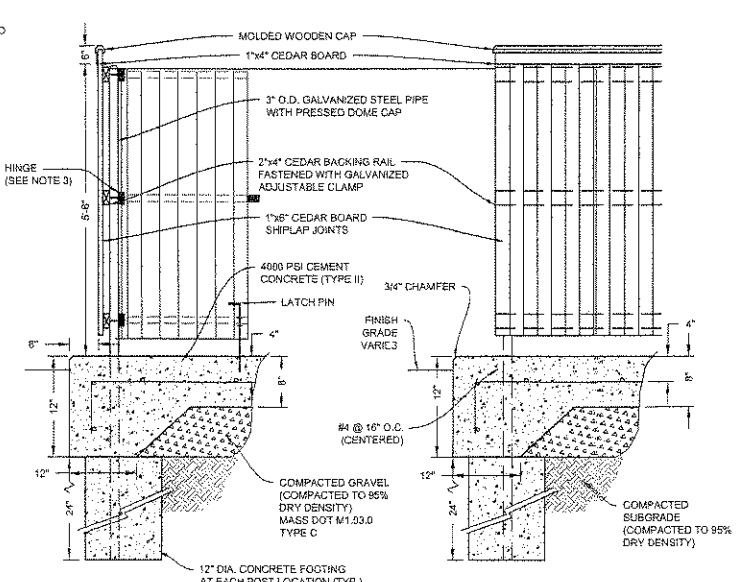
- NOTES:**
- SYMBOL SHALL BE CENTERED IN THE PARKING STALL AND SHALL BE WHITE.
  - PAVEMENT MARKING STRIPES SHALL BE WHITE, (DOUBLE STRIPED - SEE STALL LAYOUT DETAIL) MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
  - SYMBOL TO BE PAINTED IN ALL HANDICAP SPACES.

**4 ACCESSIBLE PARKING SPACE SYMBOL**  
NOT TO SCALE



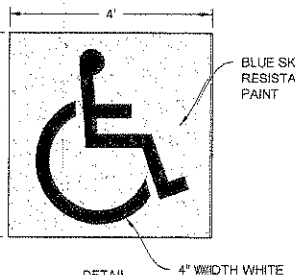
- PLAN VIEW**
- DUMPSTER PAD NOTES**
- SIZE OF DUMPSTER PAD TO BE AS INDICATED ON PLANS.
  - CONSTRUCTION JOINTS SHALL BE PLACED NO MORE THAN 40 FEET ON CENTER AND SHALL BE EQUALLY SPACED OVER THE LENGTH AND WIDTH OF PAD.
  - ALL HINGES TO BE SELF CLOSING SPRING HINGE FOR A MINIMUM 300 LB GATE CARRYING A 700LB POINT LOAD.

**5 DUMPSTER PAD WITH ENCLOSURE**  
NOT TO SCALE

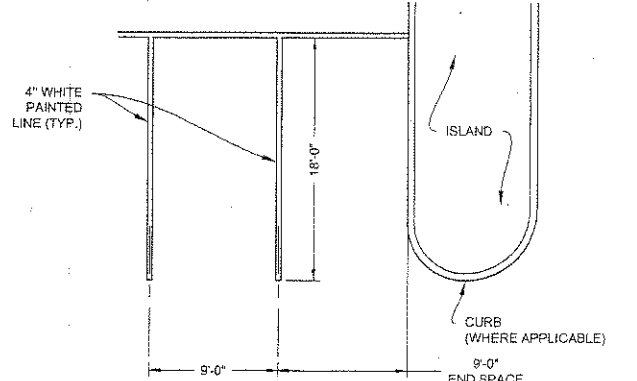


- NOTES:**
- ALL DIMENSIONS TO EDGES OF 4" PAVEMENT STRIPING.
  - ALL STRIPING SHALL BE 4" WIDE SOLID WHITE PAVEMENT MARKINGS UNLESS OTHERWISE NOTED. MASS DOT M7.01.23 FAST DRYING WHITE WATER-BORNE TRAFFIC PAINT.
  - 8' STALL WIDTH REFERS TO 8' CLEAR BETWEEN INSIDE EDGES OF PAVEMENT MARKINGS.

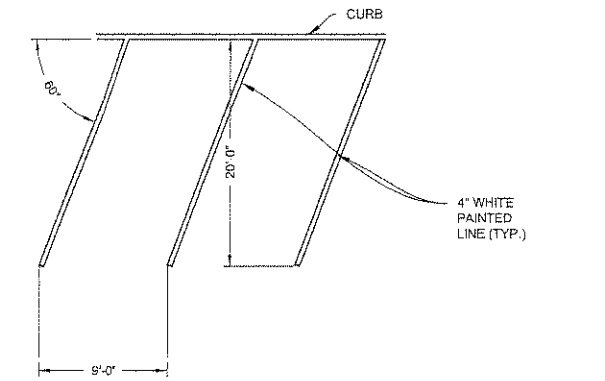
**6 ACCESSIBLE PARKING SPACE**  
NOT TO SCALE



**7 SINGLE-STRIPED PARKING PAVEMENT MARKING**  
NOT TO SCALE



**8 SINGLE-STRIPED PARKING PAVEMENT MARKING**  
NOT TO SCALE



DATE	NO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH.  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**SITE DETAILS**  
CS6002



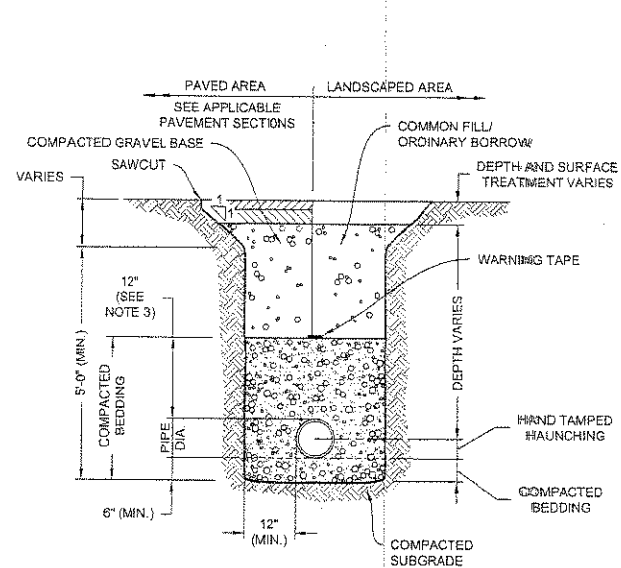
**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE: 2020-05-06

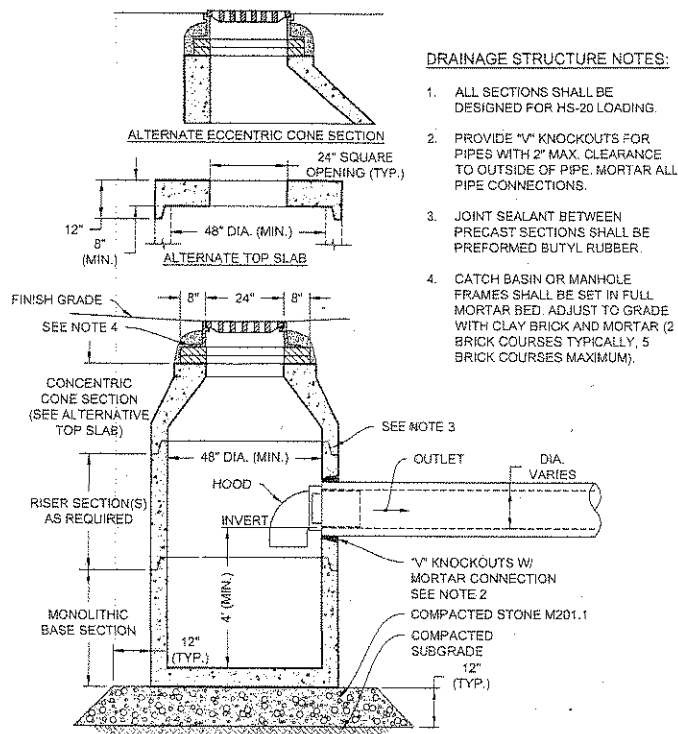
SCALE: SHEET 10 OF 16

PLOTTED: 2020-05-13 10:14 AM BY: ON: BASH PROJECT STATUS: PLOTTING: T115W A23.dwg



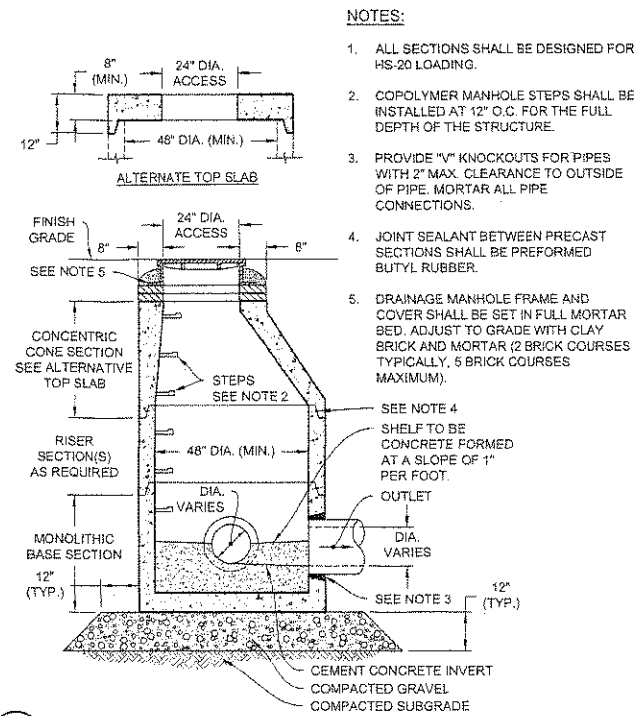
- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.
  - FOR HDPE PIPE, DIMENSION IS 24 INCHES.

**1 DRAINAGE TRENCH**  
NOT TO SCALE



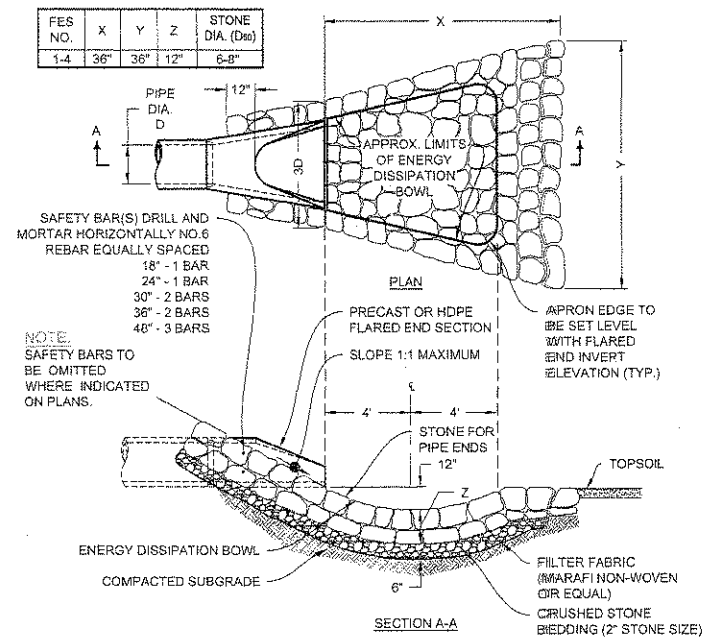
- DRAINAGE STRUCTURE NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - PROVIDE 1/2\"/>

**2 CATCH BASIN (CB) WITH HOOD**  
NOT TO SCALE

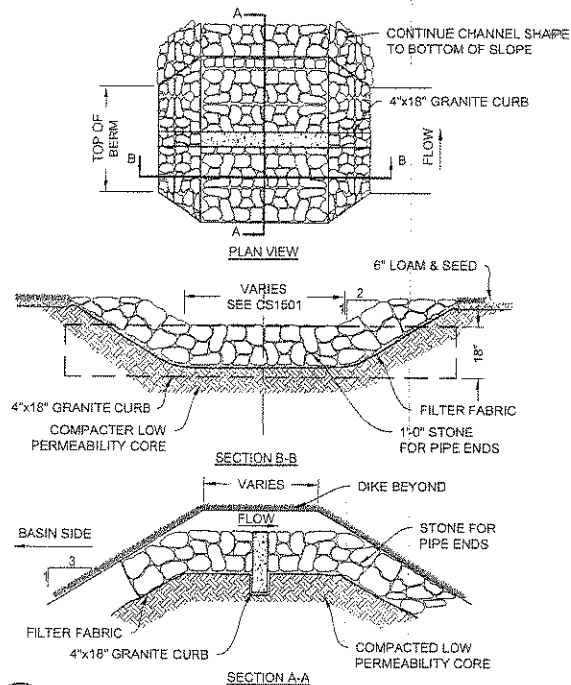


- NOTES:**
- ALL SECTIONS SHALL BE DESIGNED FOR HS-20 LOADING.
  - COPOLYMER MANHOLE STEPS SHALL BE INSTALLED AT 12\"/>

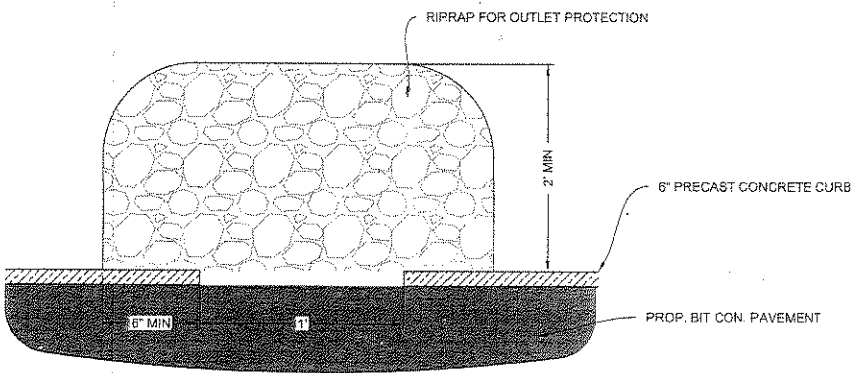
**3 DRAINAGE MANHOLE (DMH)**  
NOT TO SCALE



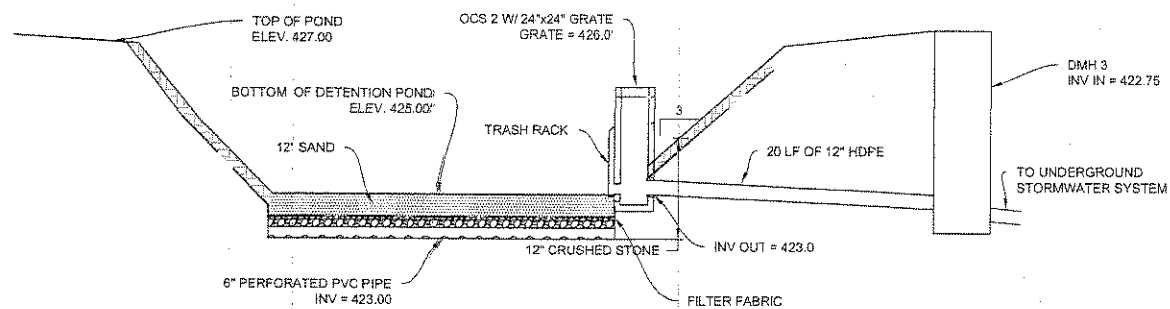
**4 FLARED END SECTION (FES) WITH STONE PROTECTION**  
NOT TO SCALE



**5 SPILLWAY TYPICAL DETAIL**  
NOT TO SCALE



**6 DRAIN SCUPPER DETAIL**  
NOT TO SCALE



**7 CROSS SECTION DETENTION POND 1 (OPEN BASIN)**  
NOT TO SCALE

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**DRAINAGE DETAILS**  
CS6021

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com



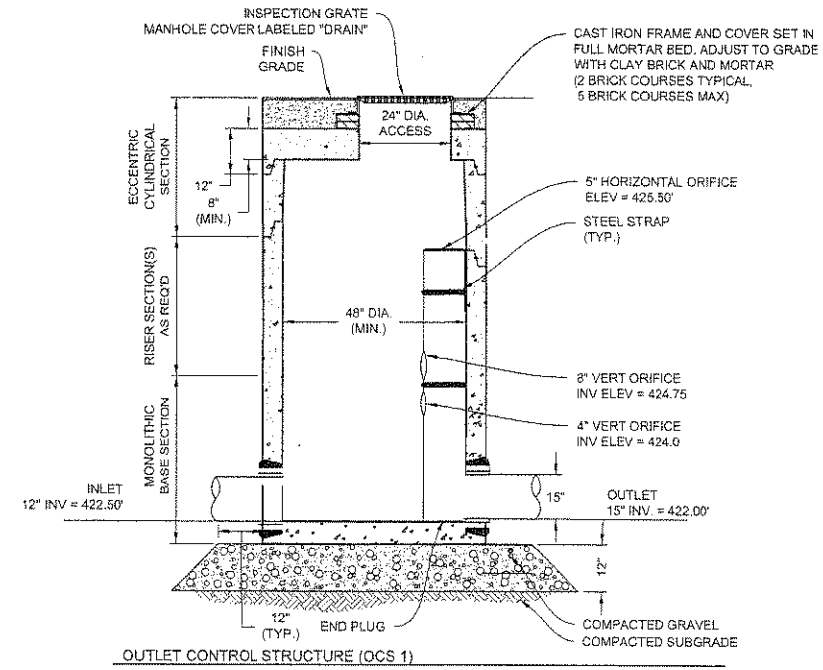
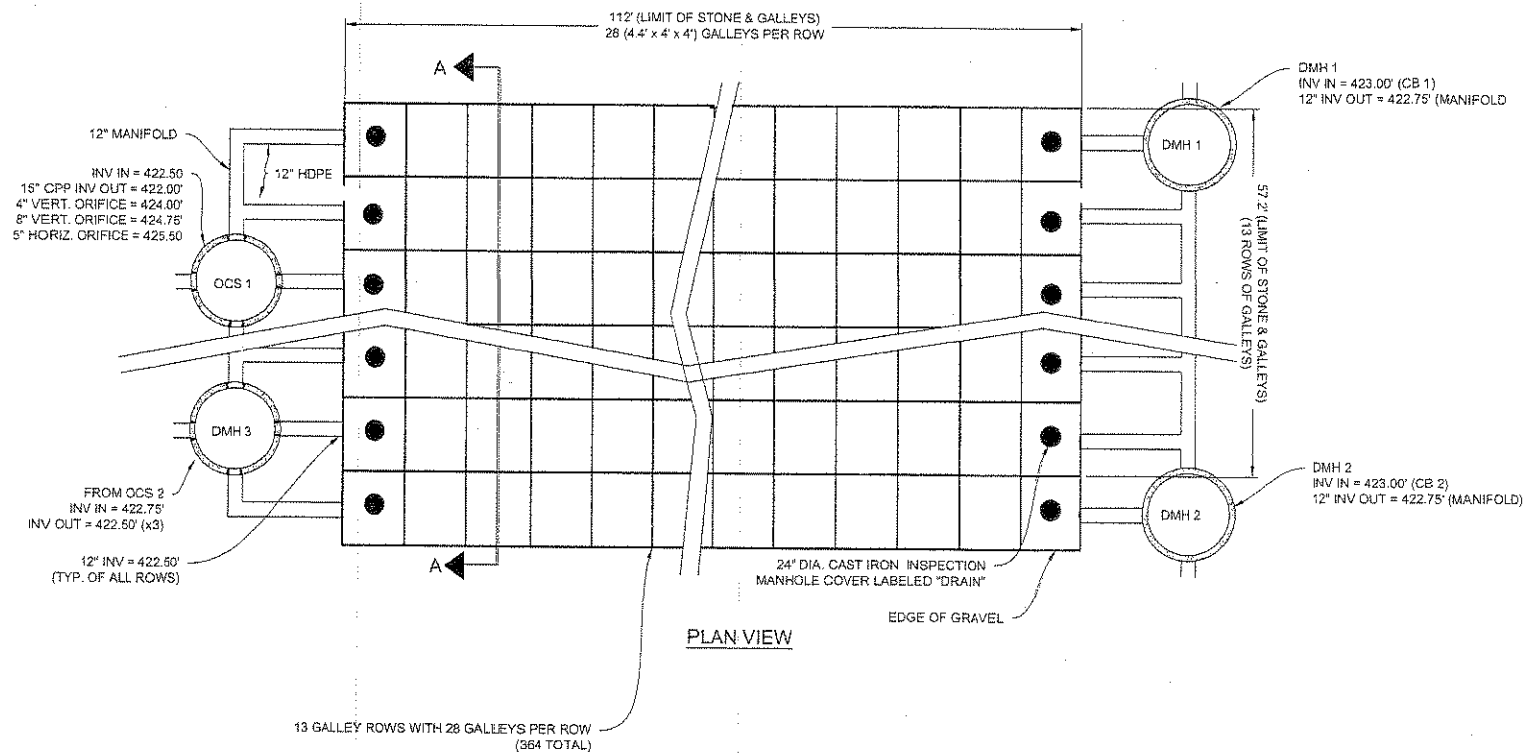
WARNER PLANNING BOARD CHAIRMAN:

DATE:

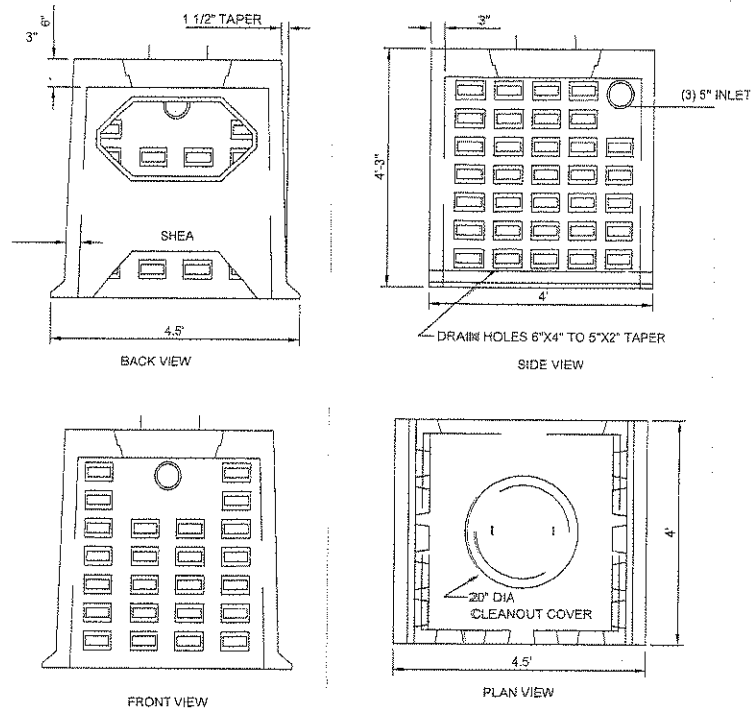
DATE: 2020-05-06

SCALE:

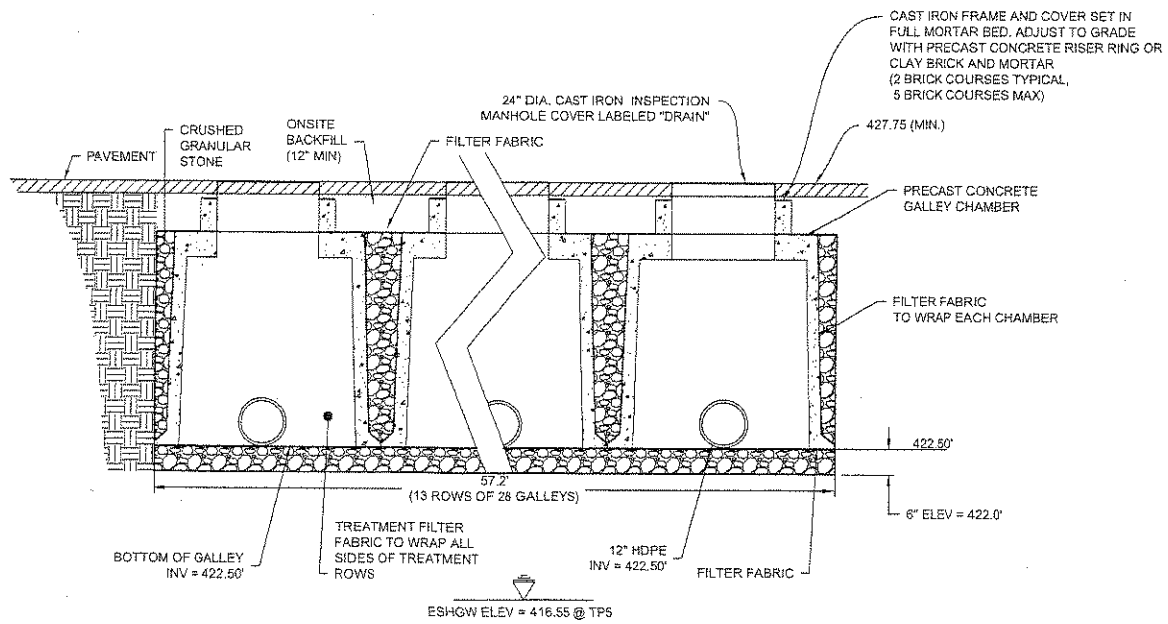
SHEET 11 OF 16



1 UNDERGROUND GALLEY STORMWATER STORAGE SYSTEM 3  
NOT TO SCALE



2 TYPICAL 4'x4'x3' GALLEY (POND 3)  
NOT TO SCALE



SECTION A-A  
NOT TO SCALE

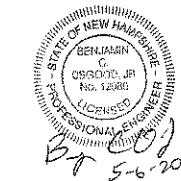
DATE	NO.	REVISIONS	BY

SITE PLAN  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

STORMWATER STORAGE SYSTEM DETAILS  
CS6022

Ranger Engineering Group, Inc.  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com



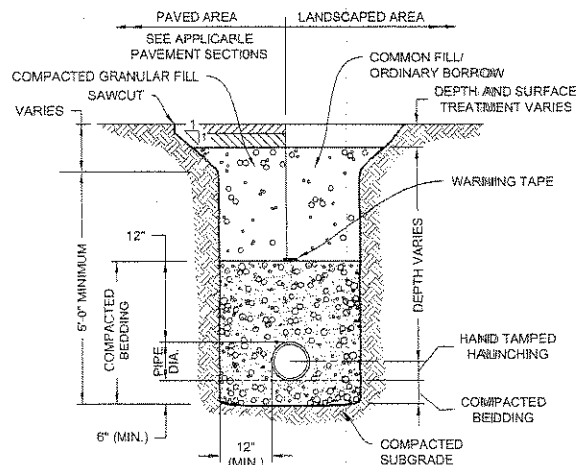
WARNER PLANNING BOARD CHAIRMAN:

DATE:

DATE  
2020-05-06

SCALE:

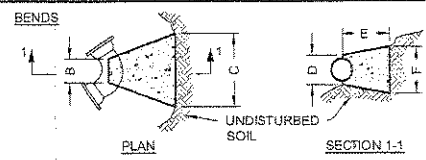
SHEET 12 OF 16



- NOTES:**
- WHERE UTILITY TRENCHES ARE CONSTRUCTED THROUGH DETENTION BASIN BERMS OR OTHER SUCH SPECIAL SECTIONS, PLACE TRENCH BACKFILL WITH MATERIALS SIMILAR TO THE SPECIAL SECTION REQUIREMENTS.
  - USE METALLIC TRACING/WARNING TAPE OVER ALL PIPES.

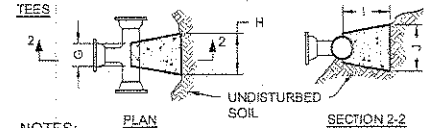
**TABLE OF DIMENSIONS**

BENDS	B	C	D	E	F	BENDS	B	C	D	E	F	
6"	11 1/4"	8"	15"	12"	24"	12"	6"	45"	8"	30"	12"	24"
6"	22 1/2"	18"	12"	13"	13"	6"	90"	30"	12"	24"	27"	
8"	11 1/4"	20"	12"	12"	8"	45"	30"	12"	24"	24"	24"	
8"	22 1/2"	22"	17"	8"	90"	38"	38"	12"	24"	36"	36"	
12"	11 1/4"	30"	15"	12"	45"	40"	40"	12"	24"	40"	40"	
12"	22 1/2"	35"	25"	12"	90"	60"	60"	12"	24"	52"	52"	

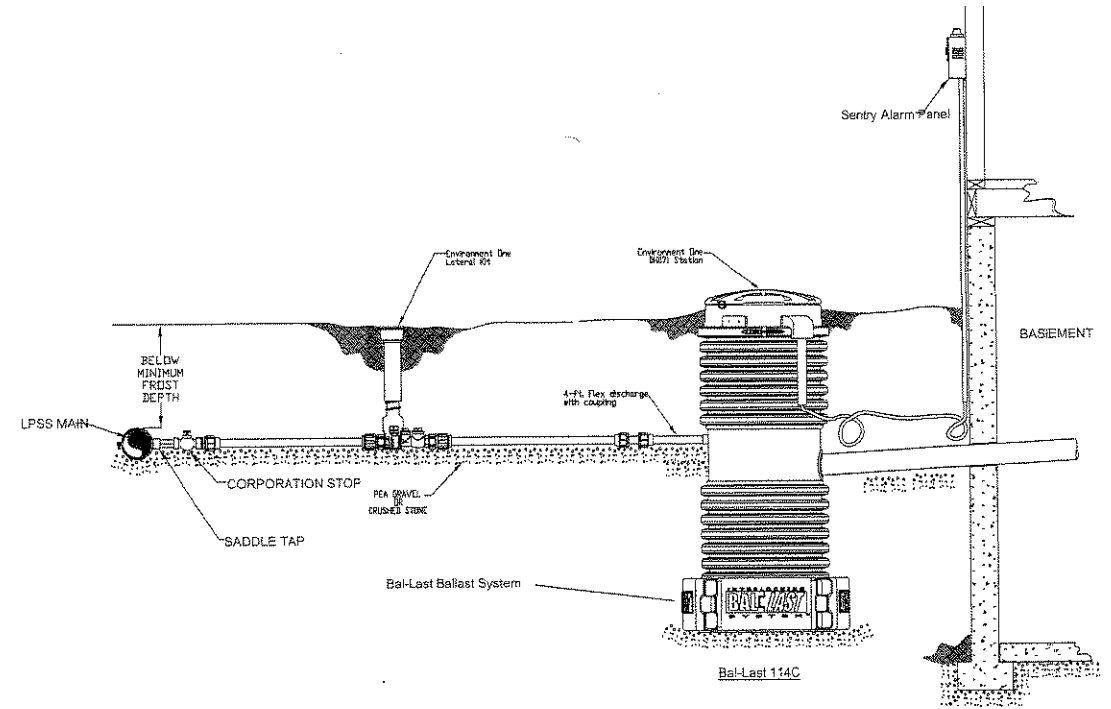


**TABLE OF DIMENSIONS**

TEES	G	H	I	J	TEES	G	H	I	J
8"x 6"x 6"	12"	24"	24"	18"	12"x 12"x 6"	12"	24"	24"	18"
8"x 8"x 6"	-	-	-	-	12"x 12"x 8"	-	-	-	24"
8"x 8"x 8"	-	-	-	24"	12"x 12"x 12"	-	-	36"	36"



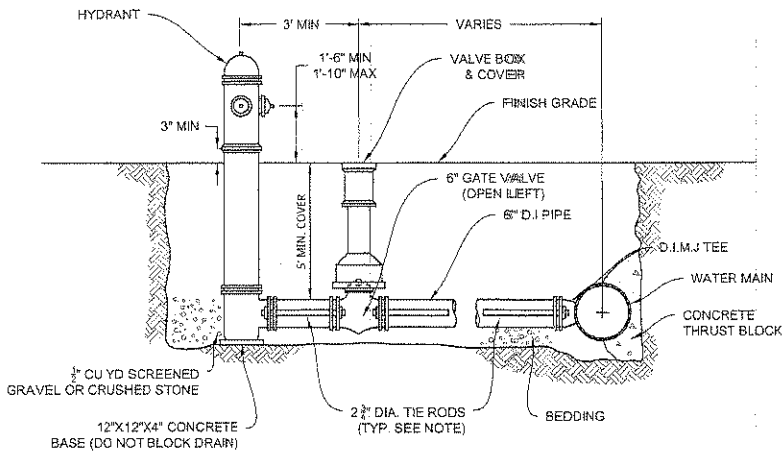
- NOTES:**
- PROVIDE BLOCKS FOR TAPPING SLEEVES, DEAD ENDS, GATE VALVES, AND VERTICAL BENDS (SAME SIZE AS REQUIRED FOR TEES). PROVIDE ANCHOR RODS AT VERTICAL BENDS AND GATE VALVES.
  - CONCRETE SHALL NOT BE PLACED AGAINST PIPE BEYOND FITTING.
  - CONCRETE SHALL BE 3000 PSI-TYPE I.



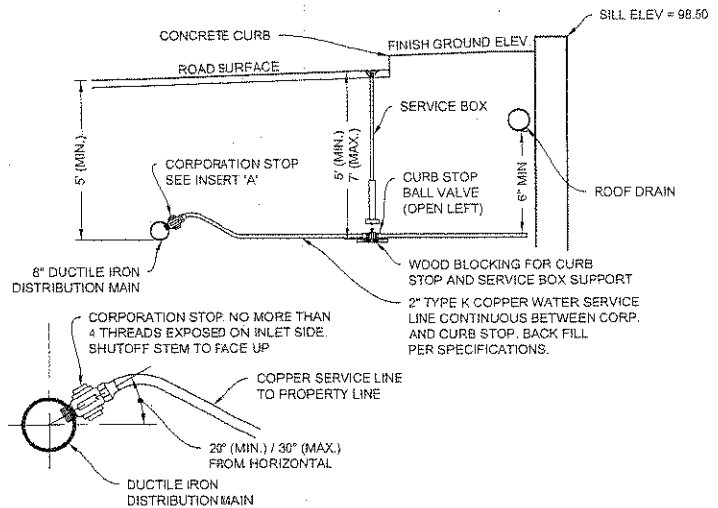
**1 WATER TRENCH**  
NOT TO SCALE

**2 CONCRETE THRUST BLOCK**  
NOT TO SCALE

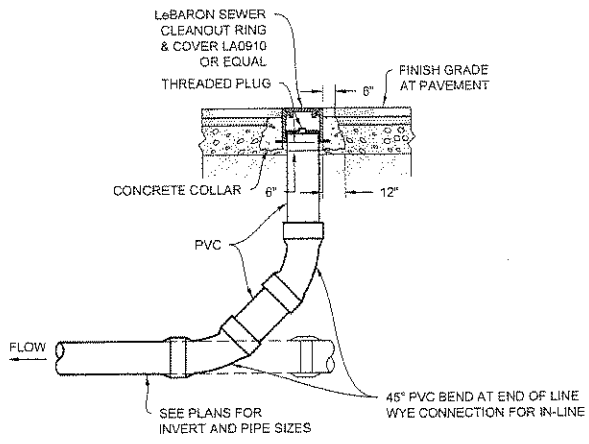
**3 TYPICAL E/ONE PUMP AND BALLAST INSTALLATION**  
NOT TO SCALE



- NOTES:**
- CONTINUE TIE RODS TO MAIN OR AT LEAST 20' ALONG HYDRANT LATERAL.
  - HYDRANT AND VALVE TO OPEN LEFT.

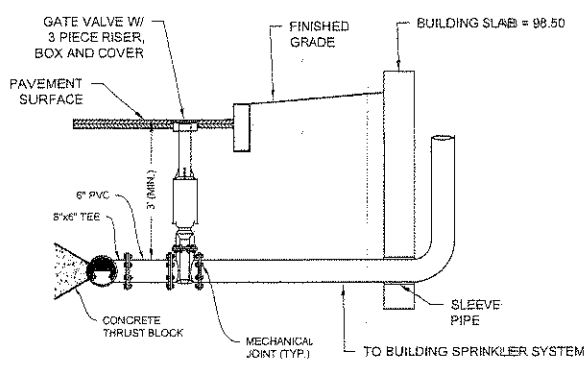


**5 WATER SERVICE INSTALLATION**  
NOT TO SCALE

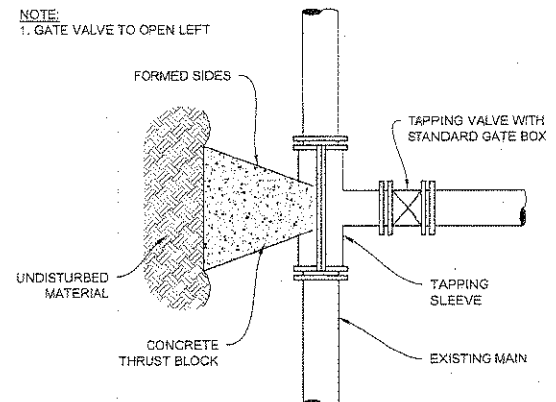


**6 SEWER CLEANOUT - PAVED AREA**  
NOT TO SCALE

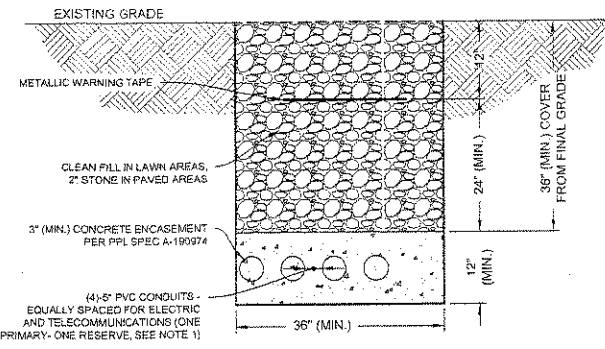
**4 HYDRANT**  
NOT TO SCALE



**7 SPRINKLER CONNECTION DETAIL**  
NOT TO SCALE



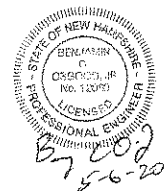
**8 TAPPING SLEEVE & VALVE CONNECTION**  
NOT TO SCALE



- NOTE:**
- ADD ONE ADDITIONAL 5\"/>

**9 ELECTRIC/ TELECOMMUNICATION DUCT BANK**  
NOT TO SCALE

DATE	NO.	REVISIONS	BY



**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01957

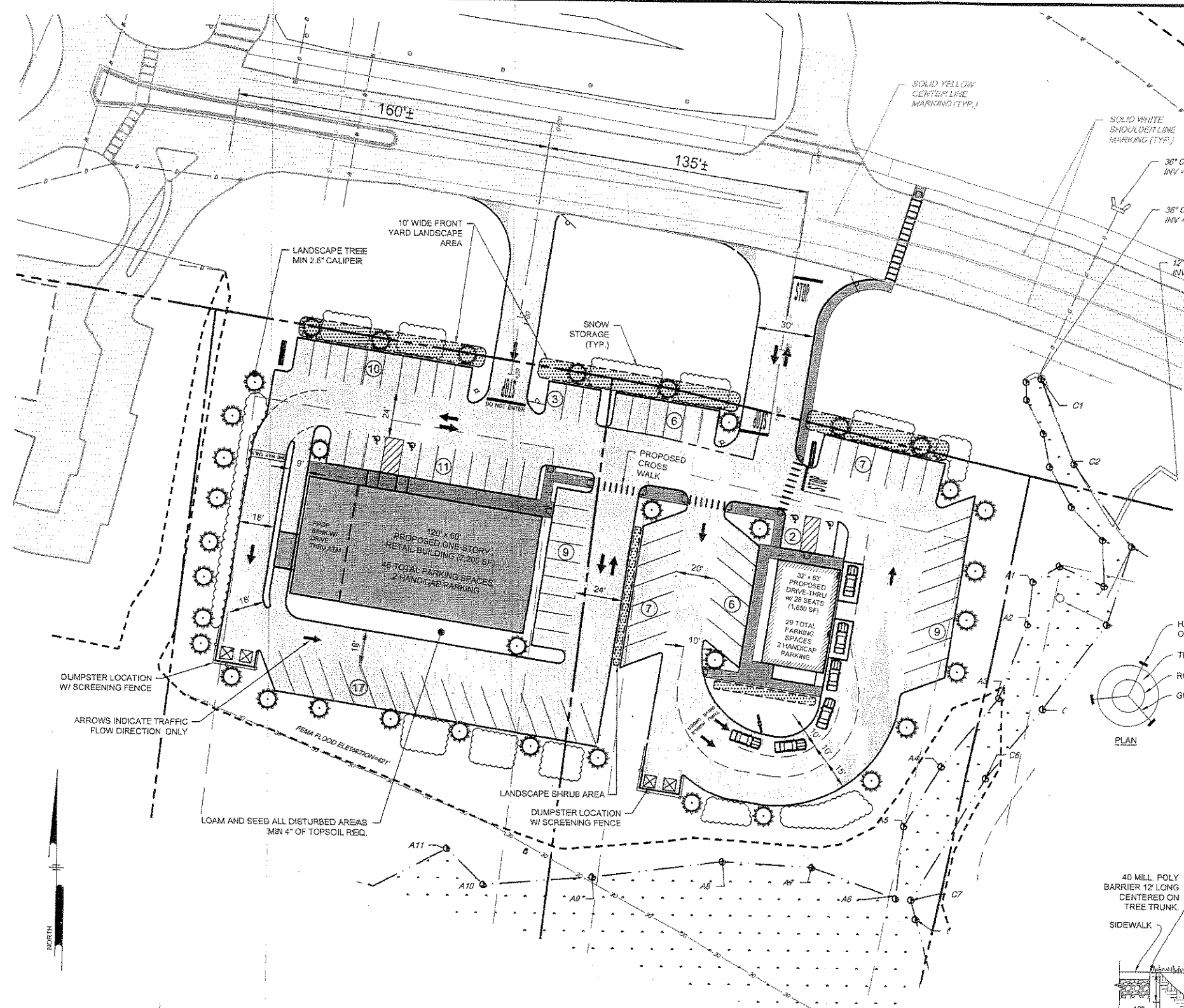
**UTILITY DETAILS**  
CS6051

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

DATE: \_\_\_\_\_

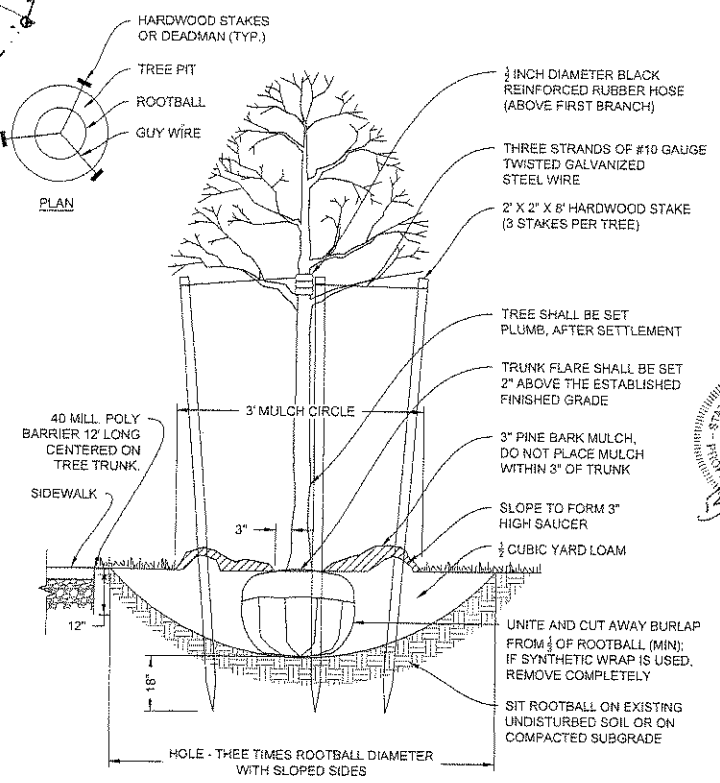




WETLAND SEED MIX		
COMMON NAME	AMOUNT	SUPPLIER
NEW ENGLAND CONSERVATION/ WILDLIFE MIX	1.0 LB./1750 S.F.	NEW ENGLAND WETLAND PLANTS, INC

APPROVED TREE SPECIES		
SCIENTIFIC NAME	COMMON NAME	
CARPINUS CAROLINIANA	AMERICAN HORNBEAM	
PICEA GLAUCA	WHITE SPRUCE	
JUNIPERUS VIRGINIANA	RED CEDAR	
ACER RUBRUM	RED MAPLE	
QUERCUS RUBRA	CRAB APPLE	
QUERCUS ALBA	WHITE OAK	
PINUS STROBUS	WHITE PINE	

APPROVED SHRUB SPECIES		
SCIENTIFIC NAME	COMMON NAME	
VIBURNUM DENTATUM	ARROWWOOD VIBURNUM	
SPIREA BETULIFOLIA	WHITE SPIREA	
ILEX GLABRA	EVERGREEN WINTERBERRY	
RHODODENDRON FERRUGINEUM	RHODODENDRON	
BUXUS MICROPHYLLA	WINTERGEM BOXWOOD	
CORNUS ALTERNIFOLIA	ALTERNATE LEAVED DOGWOOD	



1 TREE PLANTING (FOR 2\"/>

**PERFORMANCE SPECIFICATIONS**

- CLEAN AND GRUB TOP SOIL OF ALL UNSUITABLE MATERIALS INCLUDING BUT NOT LIMITED TO STUMPS, ROOTS, TRASH, AND ROCKS AND STOCKPILE FOR RE-USE. SOILS WITH INVASIVE SPECIES SHALL BE DISPOSED OF OFF SITE.
- AFTER SLOPES AND PONDS HAVE BEEN INSTALLED, LOAM AND SEED USING NEW ENGLAND CONSERVATION/ WILDLIFE MIX. A MINIMUM 4\"/>

**LANDSCAPE NOTES:**

- A MINIMUM OF ONE SHADE TREE AND (5) SHRUBS PER 900 SQUARE FEET OF LANDSCAPE AREA.
- DECIDUOUS TREES SHALL BE MIN 2.5\"/>

DATE	NO.	REVISIONS	BY

**SITE PLAN**  
 ROUTE 103 WEST, WARNER NH,  
 ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
 355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**LANDSCAPE & LIGHTING PLAN**  
 CS7001

**Ranger Engineering Group, Inc.**  
 13 Branch Street, Suite 101  
 Methuen, MA 01844  
 Tel: 978-208-1762  
 rangereng.com

WARNER PLANNING BOARD CHAIRMAN:

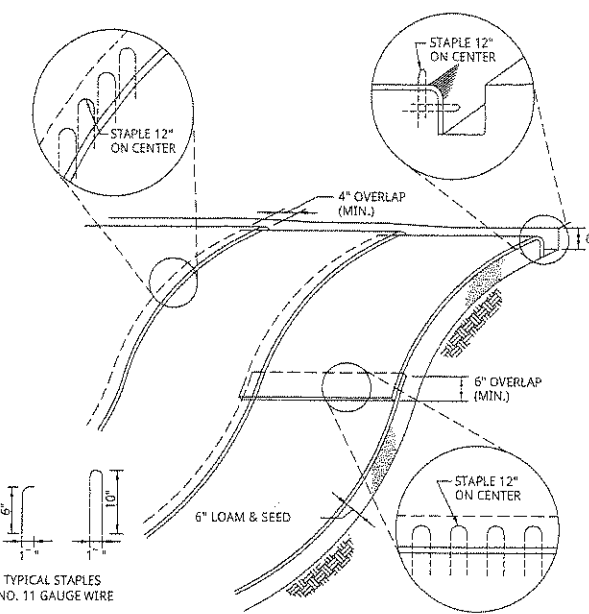
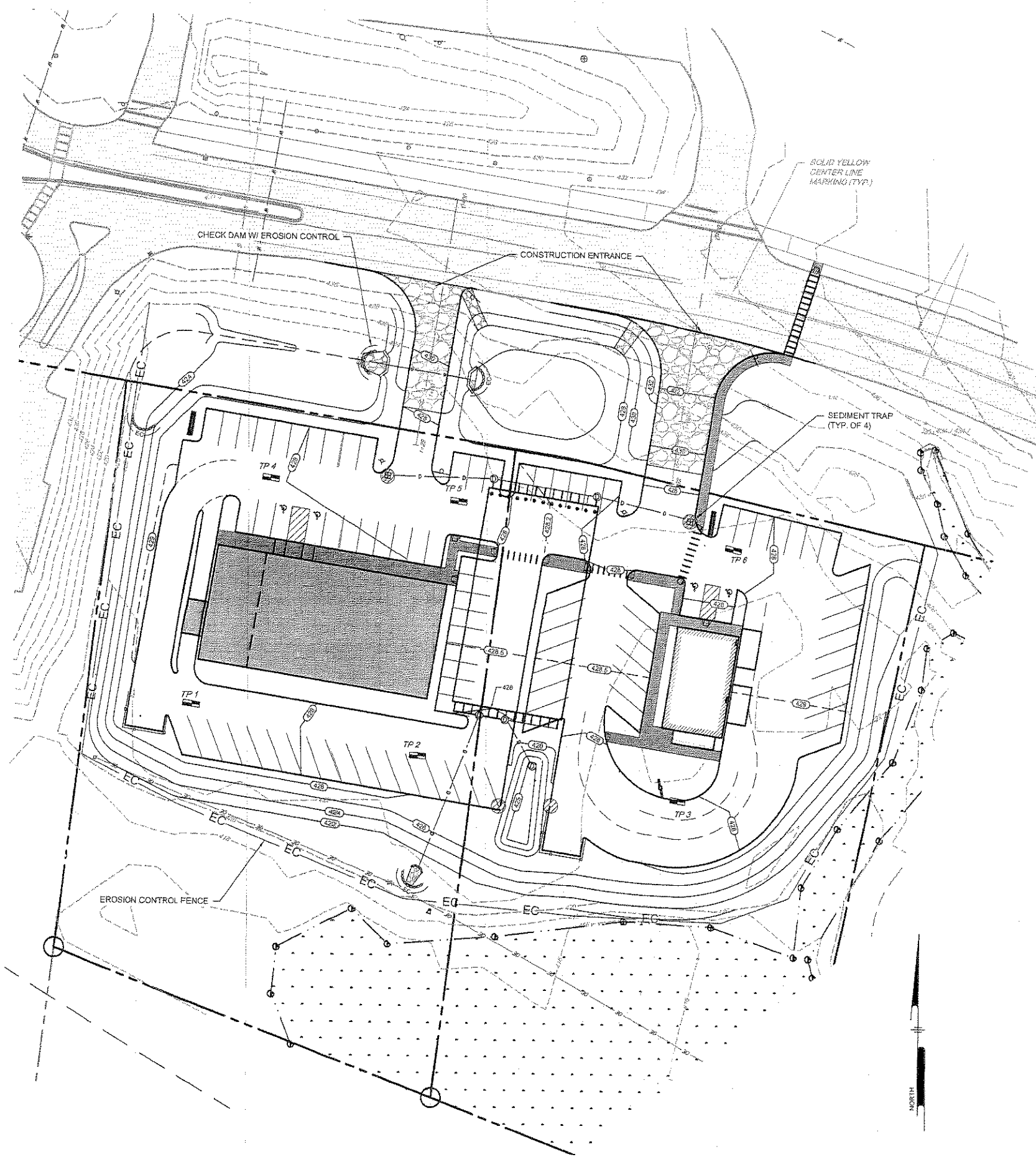
DATE:

DATE: 2020-05-05

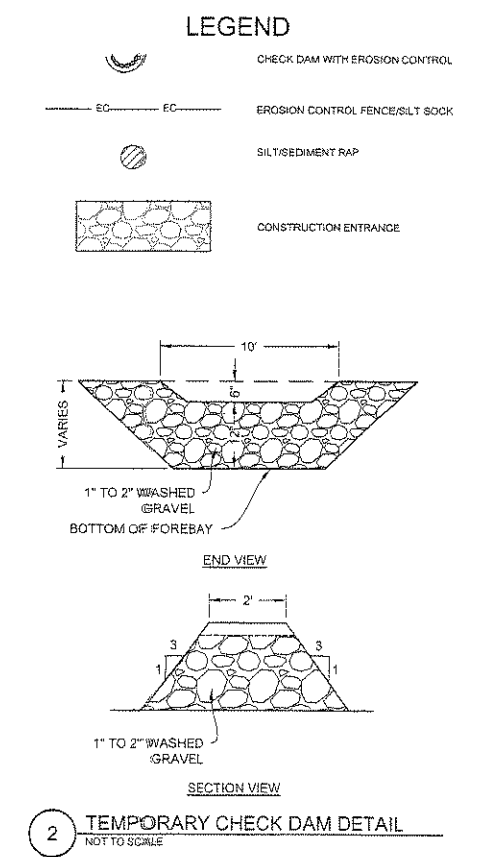
SCALE:

SHEET 14 OF 16

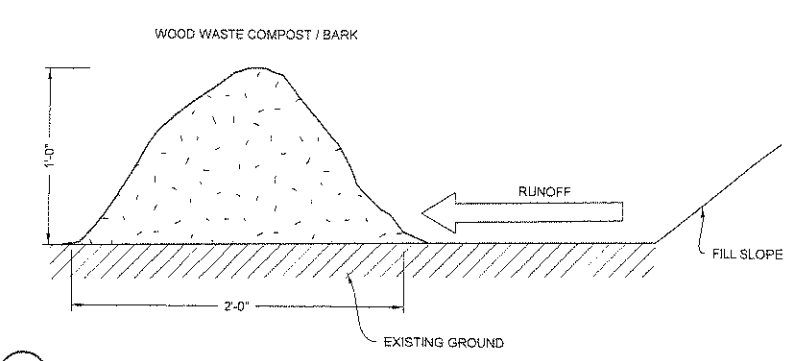
PROJECT STATUS: PLOTTED: 5/22/20 11:11 AM BY: C6 2/20 PLOT TITLE: 1718-001-HCS-00 PROJECT STATUS:



- Notes:
- BEGIN AT THE TOP OF BLANKET INSTALLATION AREA BY ANCHORING BLANKET IN A 6" DEEP TRENCH BACKFILL AND COMPACT TRENCH AFTER STAPLING. ROLL THE BLANKET DOWN THE SWALE IN THE DIRECTION OF THE WATER FLOW.
  - THE EDGES OF BLANKETS MUST BE STAPLED WITH APPROX. 4 INCH OVERLAP WHERE 2 OR MORE STRIP WIDTHS ARE REQUIRED.
  - WHEN BLANKETS MUST BE SPLICED DOWN THE SWALE, PLACE UPPER BLANKET END OVER LOWER END WITH 6 INCH (MIN.) OVERLAP AND STAPLE BOTH TOGETHER.
  - METHOD OF INSTALLATION SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.
  -



**1 EROSION CONTROL BLANKET**  
NOT TO SCALE



**3 WOODCHIP BERM**  
NOT TO SCALE

DATE	NO.	REVISIONS	BY



**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 36 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EROSION CONTROL PLAN**  
CS8501

Ranger Engineering Group, Inc.  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1762  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN: \_\_\_\_\_

DATE: \_\_\_\_\_

DATE: 2020-05-06    SCALE:    SHEET 15 OF 16

PLOTTED: 2020-05-06 11:00 AM BY: Ranger Engineering Group, Inc. PROJECT STATUS: ...  
 C:\Users\chris\Documents\CS8501.dwg

**CONSTRUCTION SEQUENCE NOTES:**

1. INSTALL EROSION AND SEDIMENT CONTROLS AS SHOWN ON PLAN.
2. COMMENCE CLEARING, GRUBBING AND EARTHWORK.
3. CUT AND DISPOSE OF ANY DEBRIS PRODUCED DURING EARTHWORK.
4. INSTALL BUILDING FOUNDATION.
5. INSTALL SITE DRAINAGE AND UTILITIES.
6. FILL SITE TO SUBGRADE.
7. CONSTRUCT PAVED AREA BASE COURSES.
8. STABILIZE SIDE SLOPES. SIDE SLOPES MUST BE FULLY STABILIZED BEFORE ANY STORMWATER DISCHARGE.
9. DISTURBED AREAS SHALL BE PERMANENTLY STABILIZED WITHIN 72 HOURS OF THE ESTABLISHMENT OF FINAL GRADE.
10. CONSTRUCT BUILDING.
11. FINAL PAVING OF DRIVEWAY AND PARKING AREAS.
12. INSPECT ALL SEDIMENT AND EROSION CONTROL MEASURES.
13. INSTALL SITE LANDSCAPING AND PERMANENT SEEDING OF ALL DISTURBED AREAS.
14. AFTER ALL SEEDED AREAS HAVE ESTABLISHED STABLE GROWTH, ALL TEMPORARY EROSION CONTROL CAN BE REMOVED.
15. CONTRACTOR SHALL NOTIFY AND COORDINATE WITH ALL AUTHORITIES RESPONSIBLE FOR INSPECTIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL REQUIRED INSPECTION SIGN-OFFS.

**OPERATION AND MAINTENANCE:**

**CONSTRUCTION PHASE**

THE BMP'S ASSOCIATED WITH THIS PROJECT WILL BE OWNED BY THE CONTRACTOR, WHO WILL BE RESPONSIBLE FOR INSPECTION, OPERATION AND MAINTENANCE. THE PROJECT IS TO BE MANAGED IN A MANNER THAT MEETS THE REQUIREMENTS AND INTENT OF RSA 430:53 AND CHAPTER AGR 3000 RELATIVE TO INVASIVE SPECIES

1. PRIOR TO ANY CONSTRUCTION, THE CONTRACTOR SHALL PHYSICALLY MARK THE LIMITS OF NO LAND DISTURBANCE ON THE SITE AND INSTALL PERIMETER CONTROLS.
2. THE CONTRACTOR IS TO INSTALL AND MAINTAIN DRAINAGE FACILITIES AS SHOWN ON THE SITE PLANS.
3. PRIOR TO CONSTRUCTION, ALL EROSION/SILTATION CONTROL DEVICES SHOWN ON ABOVE PLAN ARE TO BE INSTALLED. TO PREVENT SILT INTRUSION INTO THE DRAINAGE SYSTEM DURING CONSTRUCTION, THE CONTRACTOR IS TO INSTALL AND MAINTAIN INLET PROTECTION AT ALL CATCH BASINS, AND SET A SILT FENCE OR SEDIMENT SOCK AT ALL SLOPES WHICH MAY ERODE IN THE DIRECTION OF ANY OPEN DRAINAGE FACILITIES. SUCH PREVENTIVE MEASURES ARE TO BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROCESS. TEMPORARY CONTROLS SHALL BE INSTALLED TO REDUCE DUST AND SEDIMENT TRANSPORT.
4. CONSTRUCTION OF DRAINAGE FACILITIES IS TO BE INSPECTED BY DESIGN ENGINEER TO VERIFY CONFORMANCE TO THE DESIGN PLAN.
5. THE SEQUENCE OF DRAINAGE CONSTRUCTION SHALL BE AS FOLLOWS:
  - A. CLEAR, GRUB, EXCAVATE AREAS FOR DRAINAGE SYSTEMS.
  - B. TRENCH AND INSTALL PIPES, CATCH BASINS MANHOLES
  - C. INSTALL INLET PROTECTION.
6. EROSION CONTROLS ARE TO BE INSPECTED AND MAINTAINED ON A WEEKLY BASIS OR AFTER EVERY HALF INCH OF RAIN FALL. UPON DISCOVERY OF SILT BUILD-UP IN ANY CATCH BASIN SUMPS, OR ANY OTHER STRUCTURES, THEY ARE TO BE CLEANED.
7. ALL EXPOSED SOILS SHALL BE IMMEDIATELY STABILIZED WITH A LAYER OF MULCH HAY OR JUTE BLANKETS-AS NEEDED FOR SLOPES STEEPER THAN 3:1.
8. TEMPORARY WATER DIVERSIONS MUST BE USED AS NECESSARY UNTIL AREAS AREA STABILIZED.
  - 8.1. DITCHES AND SWALES SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM.
  - 8.2. ROADWAYS AND PARKING LOTS SHALL BE STABILIZED BEFORE DIRECTING WATER TO THEM
  - 8.3. CUT AND FILL SLOPES SHALL BE SEEDED/ LOAMED WITHIN 72 HOURS OF ACHIEVING FINISH GRADE
9. PRIOR TO CONSTRUCTION OF IMPERVIOUS AREAS, ALL DRAINAGE STRUCTURES AND OTHER SITE FEATURES, ALL DRAINAGE FACILITIES SHALL BE INSPECTED ON A WEEKLY BASIS AND CLEANED/REPAIRED IMMEDIATELY UPON DISCOVERY OF SEDIMENT BUILD-UP OR DAMAGE.
10. AFTER PAVING IS INSTALLED, IT SHALL BE SWEEP CLEAN ON A REGULAR BASIS.
11. IF DEWATERING IS NECESSARY DURING CONSTRUCTION, THE WATER WILL BE TREATED FOR TOTAL SUSPENDED SOLIDS (TSS) REMOVAL PRIOR TO DISCHARGE TO RECEIVING WATER.

**POST-DEVELOPMENT PHASE**

THE OWNER(S) IS TO BE RESPONSIBLE FOR MAINTENANCE OF ALL DRAINAGE STRUCTURES IN THE PROJECT - INCLUDING ROOF DRAINS, DRAIN PIPES, CATCH BASINS, AND DRAIN MANHOLES.

REGULAR MAINTENANCE IS TO INCLUDE THE FOLLOWING:

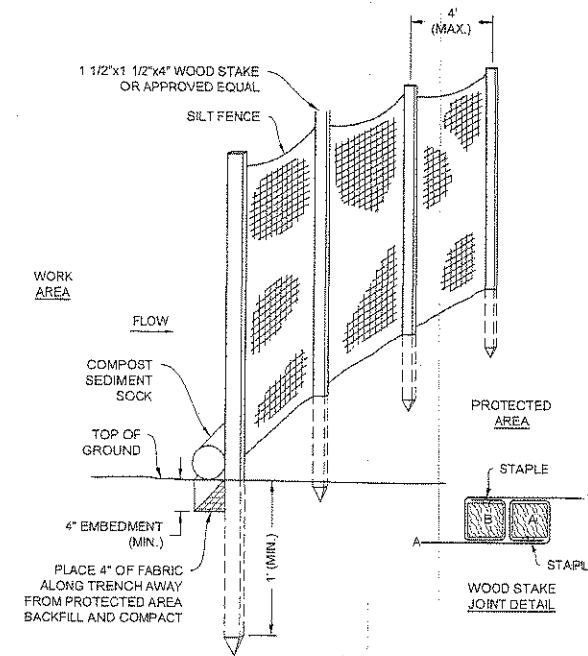
6. INSPECTION OF ALL DRAINAGE FACILITIES (CATCH BASINS, PIPES, OUTLET CONTROL STRUCTURES, AND DETENTION BASINS) EVERY THREE MONTHS. DURING THESE INSPECTIONS, THE INSPECTOR (A REGISTERED PROFESSIONAL CIVIL ENGINEER QUALIFIED IN DRAINAGE SYSTEMS) SHALL LOOK FOR EVIDENCE OF THE FOLLOWING: STRUCTURAL DAMAGE, SILT ACCUMULATION (NEAR INLET INVERTS ON CATCH BASINS AND OUTLET CONTROL STRUCTURES), AND IMPROPER FUNCTION. A REPORT ON THE SYSTEM SHALL BE DELIVERED TO THE OWNER.
7. AFTER INSPECTION, IF ANY OF THE ABOVE CONDITIONS EXIST, THE INSPECTOR SHALL NOTIFY THE OWNER, WHO SHALL IMMEDIATELY ARRANGE FOR ALL NECESSARY REPAIRS AND/OR SEDIMENT REMOVAL.
8. THE PAVEMENT AREA IS TO BE SWEEP CLEAN, AS REQUIRED (I.E., VISUALLY NOTICEABLE DEBRIS BUILD-UP), A MINIMUM OF ONCE PER YEAR.
9. ALL GRADED SLOPES SHALL BE INSPECTED EVERY SPRING FOR EROSION. UPON DISCOVERY OF ANY FAILURE (IE, EROSION), LOAM AND SEED SHALL BE PUT IN PLACE AND NURTURED.
10. DURING THE WINTER MONTHS, ALL SNOW IS TO BE STORED SUCH THAT SNOW MELT IS CONTROLLED WITHIN THE PAVED AREA.

**WINTER CONSTRUCTION SEQUENCE NOTES:**

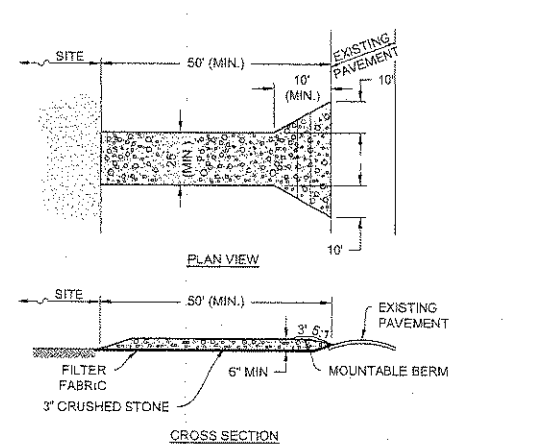
1. ALL PROPOSED VEGETATED AREAS THAT DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15, OR WHICH ARE DISTURBED AFTER OCTOBER 15, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1 AND SEEDING AND PLACING 3-4 TONS OF MULCH PER ACRE. SECURED WITH ANCHORING NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.
2. ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH OR WHICH ARE DISTURBED AFTER OCTOBER 15TH SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE FLOW.
3. AFTER OCTOBER 15, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3" OF CRUSHED GRAVEL PER NHDOT ITEM 304.3

**EROSION CONTROL NOTES (DURING CONSTRUCTION)**

1. THE CONTRACTOR MUST INSTALL EROSION CONTROL MEASURES AS SHOWN ON THE PLANS AND IN THE DETAILS PRIOR TO STARTING ANY OTHER WORK ON THE SITE. EROSION CONTROL MUST BE INSTALLED AT EVERY INLET STRUCTURE (EXISTING AND PROPOSED) AND MAINTAINED FOR THE DURATION OF THE PROJECT.
2. EROSION CONTROLS AS SHOWN ON PLANS SHALL BE INSPECTED, REPAIRED AND/OR MAINTAINED BY THE CONTRACTOR DAILY AND WITHIN 12 HOURS OF EACH STORM EVENT.
3. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 1/4 TO 1/2 THE HEIGHT OF THE SILT FENCE OR SEDIMENT SOCK.
4. SEDIMENT SHALL BE CONTAINED WITHIN THE CONSTRUCTION SITE, AWAY FROM DRAINAGE STRUCTURES. SEDIMENT REACHING THE PUBLIC WAY SHALL BE REMOVED BY STREET SWEEPING AND NOT BY FLUSHING.
5. STABILIZE SLOPES STEEPER THAN 3:1 (HORIZONTAL TO VERTICAL) WITH SEED, SECURED GEOTEXTILE FABRIC, OR ROCK RIP-RAP AS REQUIRED TO PREVENT EROSION DURING CONSTRUCTION.
6. CLEAN OUT CATCH BASINS, DRAIN MANHOLES AND STORM DRAIN PIPES AFTER COMPLETION OF CONSTRUCTION.
7. LOAM AND SEED ALL DISTURBED AREAS. PERMANENT SEEDING SHALL OCCUR IN THE SPRING FROM LATE MARCH THROUGH MAY AND IN LATE SUMMER OR EARLY FALL BETWEEN AUGUST AND OCTOBER
8. DUST SHALL BE CONTROLLED AT THE SITE WITH MECHANICAL WATER SPRAYING AS NECESSARY AND DURING EXTENDED DRY PERIODS.
9. UPON ESTABLISHMENT OF PERMANENT VEGETATION OVER DISTURBED AREAS, REMOVE AND DISPOSE OF STRAW WATTLES AND STAKES.
10. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN AND SUPPLEMENT THE SPECIFIED SEDIMENTATION CONTROLS AS NECESSARY TO PREVENT SEDIMENTATION OF OFF-SITE AREAS AND/OR ANY REGULATED RESOURCE AREAS. FAILURE BY THE CONTRACTOR TO CONTROL EROSION, POLLUTION AND/OR SILTATION SHALL BE CAUSE FOR THE OWNER TO EMPLOY OUTSIDE ASSISTANCE OR TO USE HIS OWN MEANS TO PROVIDE THE NECESSARY CORRECTIVE MEASURE. THE COST OF SUCH ASSISTANCE PLUS PROJECT ENGINEERING COSTS WILL BE THE CONTRACTOR'S RESPONSIBILITY.
11. THE CONTRACTOR SHALL CHECK THE CONDITION OF EROSION CONTROLS WEEKLY TO KEEP THEM IN GOOD OPERATING CONDITION. EROSION CONTROLS SHALL ALSO BE INSPECTED, REPAIRED AND MAINTAINED BY THE CONTRACTOR WITHIN 12 HOURS OF ANY STORM EVENT PRODUCING 1/2 INCH OF RAINFALL OR MORE. EROSION CONTROLS SHALL BE REPLACED WHEN DETERIORATED, OR WHEN ORDERED BY THE ENGINEER. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THEY REACH A DEPTH OF 6 INCHES
12. IN ADDITION TO THOSE LOCATIONS SHOWN ON THIS PLAN AND ON THE GRADING AND DRAINAGE PLANS, EROSION CONTROLS SHALL BE INSTALLED AT THE FOLLOWING LOCATIONS: TOE OF SLOPE OF EMBANKMENT CONSTRUCTION, TOE OF TEMPORARY EARTHWORK STOCKPILES. STOCKPILE SIDE SLOPES SHALL NOT EXCEED 2:1.
13. EROSION AND SEDIMENTATION CONTROL SHALL BE IN COMPLIANCE WITH MASSACHUSETTS STORMWATER POLICY.
14. AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:
  - A. BASE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED.
  - B. A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED.
  - C. A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED.
  - D. EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.
15. THE SMALLEST PRACTICAL AREA SHALL BE DISTURBED DURING CONSTRUCTION BUT IN NO CASE EXCEED 2.75 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED
16. ALL AREAS SHALL BE STABILIZED WITHIN 90 DAYS OF INITIAL DISTURBANCE

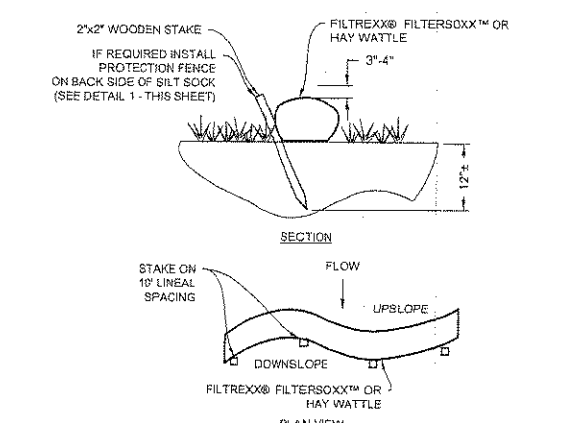


**1 SILT FENCE BARRIER**  
NOT TO SCALE



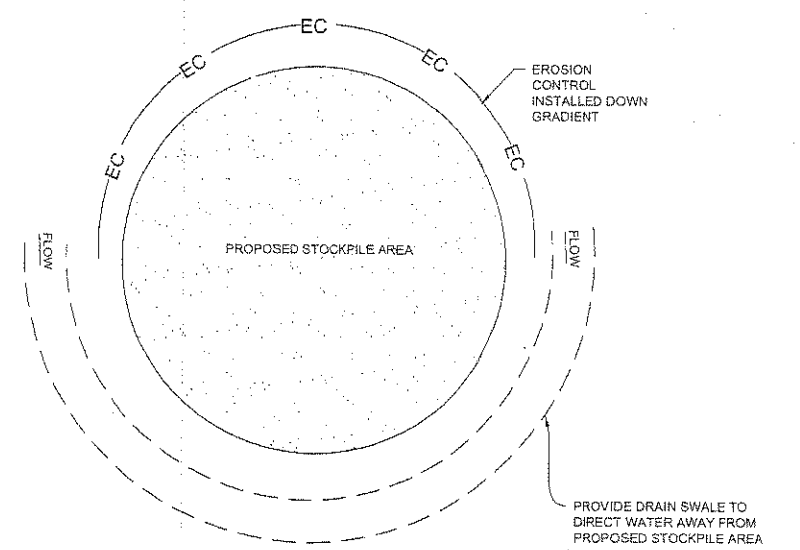
- NOTES:**
1. ENTRANCE WIDTH SHALL BE A TWENTY-FIVE (25) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
  2. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH SHALL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY. BERM SHALL BE PERMITTED. PERIODIC INSPECTION AND MAINTENANCE SHALL BE PROVIDED AS NEEDED.

**2 STABILIZED CONSTRUCTION ENTRANCE**  
NOT TO SCALE

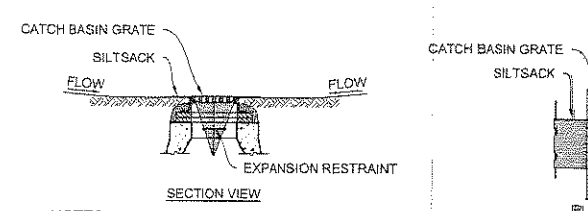


- NOTES:**
1. ALL MATERIALS TO MEET FILTREXX® SPECIFICATIONS.
  2. FILTERSOXX™ COMPOST/SEED FILL TO MEET APPLICATION REQUIREMENTS.
  3. COMPOST MATERIAL TO BE DISPENSED ON SITE, AS DETERMINED BY ENGINEER.

**3 SEDIMENT SOCK / HAY WATTLE DETAIL**  
NOT TO SCALE

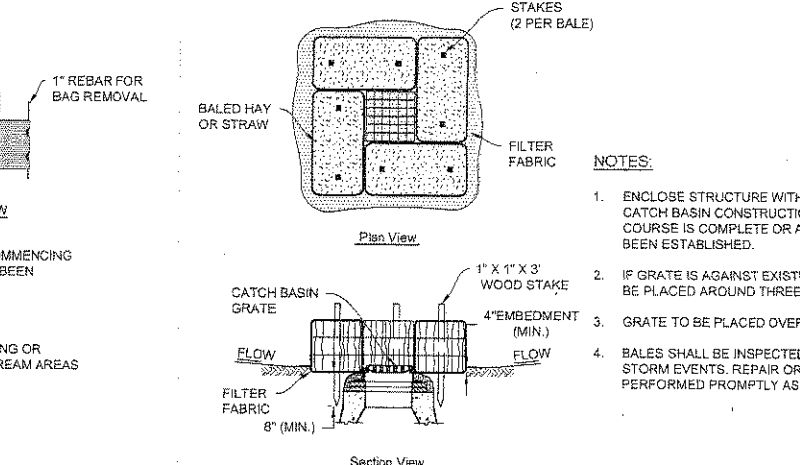


**4 STOCKPILE PROTECTION**  
NOT TO SCALE



- NOTES:**
1. INSTALL SILTSACK IN ALL CATCH BASINS WHERE INDICATED ON THE PLAN BEFORE COMMENCING WORK OR IN PAVED AREAS AFTER BINDER COURSE IS PLACED AND HAY BALES HAVE BEEN REMOVED.
  2. GRATE TO BE PLACED OVER SILTSACK.
  3. SILTSACK SHALL BE INSPECTED WEEKLY AND AFTER ALL STORM EVENTS AND CLEANING OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED. MAINTAIN UNTIL UPSTREAM AREAS HAVE BEEN PERMANENTLY STABILIZED.

**5 SILTSACK SEDIMENT TRAP**  
NOT TO SCALE



**6 CATCH BASIN SEDIMENT TRAP**  
NOT TO SCALE

- NOTES:**
1. ENCLOSE STRUCTURE WITH HAYBALES IMMEDIATELY AFTER CATCH BASIN CONSTRUCTION. MAINTAIN UNTIL PAVING BINDER COURSE IS COMPLETE OR A PERMANENT STAND OF GRASS HAS BEEN ESTABLISHED.
  2. IF GRATE IS AGAINST EXISTING CURB THEN HAY BALES ARE TO BE PLACED AROUND THREE SIDES OF GRATE ONLY.
  3. GRATE TO BE PLACED OVER FILTER FABRIC.
  4. BALES SHALL BE INSPECTED PERIODICALLY AND AFTER ALL STORM EVENTS. REPAIR OR REPLACEMENT SHALL BE PERFORMED PROMPTLY AS NEEDED.

DATE	REV.	REVISIONS	BY

**SITE PLAN**  
ROUTE 103 WEST, WARNER NH,  
ASSESSOR'S MAP 35 LOTS 4-1 & 4-2

OWNER: COMET, LLC  
355 MIDDLESEX AVE, SUITE 7 WILMINGTON, MA 01887

**EXISTING CONDITIONS PLAN**  
CS8501

**Ranger Engineering Group, Inc.**  
13 Branch Street, Suite 101  
Methuen, MA 01844  
Tel: 978-208-1782  
rangereng.com

WARNER PLANNING BOARD CHAIRMAN:  
  
DATE: 2020-05-06

SHEET 16 OF 16

PLOTTED: 5/20/20 10:14 AM BY: chris@rangereng.com  
 PROJECT: 16101 - 103 WEST, WARNER NH  
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 PLOT DATE: 5/20/20 10:14 AM  
 PLOT BY: chris@rangereng.com